

GENERAL NOTES

1. CODE COMPLIANCE: ALL WORK SHALL COMPLY WITH THE 2021 WSEC, 2021 IRC, 2021 IMC, 2021 IFGC, 2021 UPC, 2021 IFC, 2021 IPCM, 2020 NEC, 2021 IECC WITH WA STATE AMENDMENTS, 2009 ICOD A117.1, AND ALL LOCAL CODES AND ORDINANCES.
2. DIMENSIONS: DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF DISCREPANCIES. IF WORK IS STARTED PRIOR TO NOTIFICATION, THE GENERAL AND SUBCONTRACTOR PROCEED AT THEIR OWN RISK.
3. DOCUMENT REVIEW/VERIFICATION: CONSULT WITH ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK.
4. ROUGH OPENINGS/BACKING: VERIFY SIZE AND LOCATION, AS WELL AS PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND ROUGH BUCKS/BACKING FOR SURFACE-MOUNTED ITEMS.
5. FURRING: PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS. FURRING NOT SHOWN ON PLANS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
6. GRADES: VERIFY ALL GRADES AND THEIR RELATIONSHIP TO THE BUILDING(S).
7. FLOOR LINES: FLOOR LINE REFERS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR.
8. REPETITIVE FEATURES: OFTEN DRAWN ONLY ONCE AND SHALL BE PROVIDED AS IF FULLY DRAWN.
9. DOORS: DOORS NOT DIMENSIONALLY LOCATED SHALL BE 6" FROM STUD FACE TO EDGE OF DOOR, ROUGH OPENING OR CENTERED BETWEEN WALLS AS SHOWN.
10. WOOD MEMBERS IN CONTACT WITH CONCRETE, AND/OR EXPOSED TO WEATHER: TO BE PRESSURE TREATED, TYPICAL. PROVIDE PRESSURE TREATED SILL PLATE IF FINISH GRADE IS WITHIN 6" TYPICAL.
11. FRAMING: ALL NEW INTERIOR FRAME PARTITIONS TO BE 2X4 @ 16" O.C., & ALL NEW EXTERIOR FRAME PARTITIONS TO BE 2X6 @ 16" O.C., UNLESS OTHERWISE NOTED. VERIFY W/ STRUCTURAL DRAWINGS, EXISTING EXTERIOR WALLS ARE 2X4 STUDS @ 16" O.C., AND ARE TO REMAIN. NEW INTERMEDIATE FRAMING AT EXTERIOR WOOD WALLS REQUIRES HEADERS INSULATED WITH A MIN. R-10 INSULATION.
12. VENTILATION: VENT ALL BATHROOM FANS, LAUNDRY FANS, RANGE HOODS AND DRYERS TO OUTSIDE ATMOSPHERE. BATHROOM/UTILITY ROOM FANS SHALL BE CAPABLE OF 5 AIR CHANGES PER HOUR AND SHALL BE VENTED DIRECTLY TO THE OUTSIDE THROUGH SMOOTH, RIGID, NON-CORROSIVE METAL, 24 GA.
13. FLUES: FLUES TO BE LOCATED MINIMUM 2" FROM ALL COMBUSTIBLE MATERIALS.
14. DOWNSPOUTS: LOCATE NEW DOWNSPOUTS AS SHOWN ON ROOF PLAN, FLOOR PLANS & ELEVATIONS.
15. OTHER DOCUMENTATION: REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND/OR LANDSCAPE DRAWINGS FOR ADDITIONAL DRAWINGS, NOTES, SCHEDULES, AND SYMBOLS.
16. PROTECTION: PROTECT ALL EXISTING FINISHES AND SURFACES. ANY DAMAGE WILL BE REPAIRED WITHOUT ADDITIONAL COST TO OWNER.
17. PERMITS: SEPARATE ELECTRICAL, MECHANICAL, AND PLUMBING PERMITS ARE REQUIRED IN ADDITION TO THE BASIC BUILDING PERMIT.
18. ROOFING: PROVIDE NEW ROOFING TO MATCH EXISTING.
19. EXHAUST DUCTS: PROVIDE BACKDRAFT DAMPERS AT ALL EXHAUST DUCTS. PROVIDE COMBUSTION AIR OPENINGS INTO FURNACE ROOM PER UMC 703.
20. APPLIANCES: CLEARANCES OF UL LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE AS SPECIFIED IN UL LISTING.
21. WATER FLOW: SHOWER SHALL BE EQUIPPED WITH FLOW CONTROL DEVICE TO LIMIT WATER FLOW TO 1.8 GALLONS PER MINUTE.
22. SMOKE DETECTORS & FIRE ALARM: SMOKE & CARBON MONOXIDE THROUGHOUT NEW CONSTRUCTION, TO BE MONITORED PER FIRE DEPARTMENT REQUIREMENTS. NFPA 72 CHAPTER 29 MONITORED FIRE ALARM SYSTEM PER COM STANDARDS. SEPARATE PERMIT REQUIRED.
23. FIREBLOCKING: FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION PER 2021 IRC SECTION R302.11. 1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, SPECIFICALLY VERTICALLY @ CEILING AND FLOOR LEVELS; AND HORIZONTALLY @ INTERVALS NOT EXCEEDING 10 FEET. 2) AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES. 3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT T.O. & B.O. RUN. 4) AT OPENINGS AROUND VENTS, PIPES, ETC. AT CEILING AND FLOOR LEVEL.
24. FIRE SPRINKLERS: NFPA 13D FIRE SPRINKLER SYSTEM IN COMPLIANCE WITH NFPA 13D AND COM STANDARD SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED.
25. ADDITIONAL FIRE CODE ALTERNATES: A NFPA 72- CHAPTER 29 MONITORED FIRE ALARM SYSTEM IN COMPLIANCE WITH NFPA 72 AND COMI STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPARATE FIRE PERMIT IS REQUIRED.

PROJECT DATA

PROJECT ADDRESS: 4115 78TH AVE SE MERCER ISLAND, WA 98040
PROPERTY TAX ID NUMBER: 362350-0210
SCOPE OF WORK: NEW TWO-STORY SINGLE FAMILY RESIDENCE OVER BASEMENT WITH ATTACHED TWO CAR GARAGE
ZONING: R-9.6
CONSTRUCTION TYPE: TYPE V B
SEISMIC ZONE: 3
NUMBER OF STORIES: 2 STORIES OVER BASEMENT
FIRE PROTECTION: NFPA 13D FIRE SPRINKLERS
BUILDING HEIGHT: 30 FT ABOVE AVERAGE BUILDING ELEV. (FLAT ROOF)
35 FT ABOVE AVERAGE BUILDING ELEV. (SLOPED ROOF)
GROSS LOT AREA: 9930 SF
NET LOT AREA: 9930 SF
SETBACKS: FRONT LOT LINE = 20 FT, REAR LOT LINE = 25 FT, SIDE LOT LINES = 15 FT, = 5 FT MIN.

LEGAL DESCRIPTION

ISLAND PARK REPLAT OF LOT 11 MERCER ISLAND SHORT SUBDIVISION NO. SUB0010-003 REC NUMBER 20020719900001 - SD SHORT SUBDIVISION DAF - THAT POR OF TRACT 16 REPLAT OF ISLAND PARK LY NELY OF WEST MERCER WAY LESS THE FOLG DESC TRACT BEG AT NELY COR OF SD TRACT TH S 42-09-00 E ALG NE LN TH OF A DIST OF 12.56 FT TH S 47-51-00 W 105.51 FT TO NELY LN OF WEST MERCER WAY TH NWLY ALG SD NELY LN TO NORTH LN OF SD TRACT 16 TH EAST ALG SD NORTH LN TO POB AND LESS THAT POR OF SELY 10.00 FT OF SD PREMISES IF ANY LY WITHIN COUNTY RD Plat Book: 16

PROJECT TEAM

OWNER: RKK CONSTRUCTION INC 3656 70TH AVE SE MERCER ISLAND, WA 98040 PHONE: 206.730.1237 CONTACT: JASON KOEHLER
ARCHITECT: STURMAN ARCHITECTS 9 103RD AVE NE STE. 203 BELLEVUE, WA 98004 PHONE: 425.451.7003 CONTACT: BRAD STURMAN
CONTRACTOR: RKK CONSTRUCTION INC 3056 70TH AVE SE MERCER ISLAND, WA 98040 PHONE: 206.730.1237 CONTACT: JASON KOEHLER
STRUCTURAL: MYERS ENGINEERING 3206 50TH ST. COURT STE. 210-B GIG HARBOR, WA 98335 PHONE: 253.858.3248 CONTACT: MARK MYERS
CIVIL: CIVIL ENGINEERING SOLUTIONS 701 N 36TH STREET SEATTLE, WA 98103 PHONE: 206.930.0342 CONTACT: DUFFY ELLIS
GEOTECH: EARTH SOLUTIONS NW 15365 NE 90TH ST. STE. 100 REDMOND, WA 98052 PHONE: 425.449.4704 CONTACT: STEVE AVRIL
ARBORIST: SEATTLE TREE CONSULTING 3907 AURORA AVE N SEATTLE, WA 98103 PHONE: 206.457.5706 CONTACT: DOUG SMITH

TREE PROTECTION

A TREE PROTECTION INSPECTION IS REQUIRED BEFORE START OF WORK

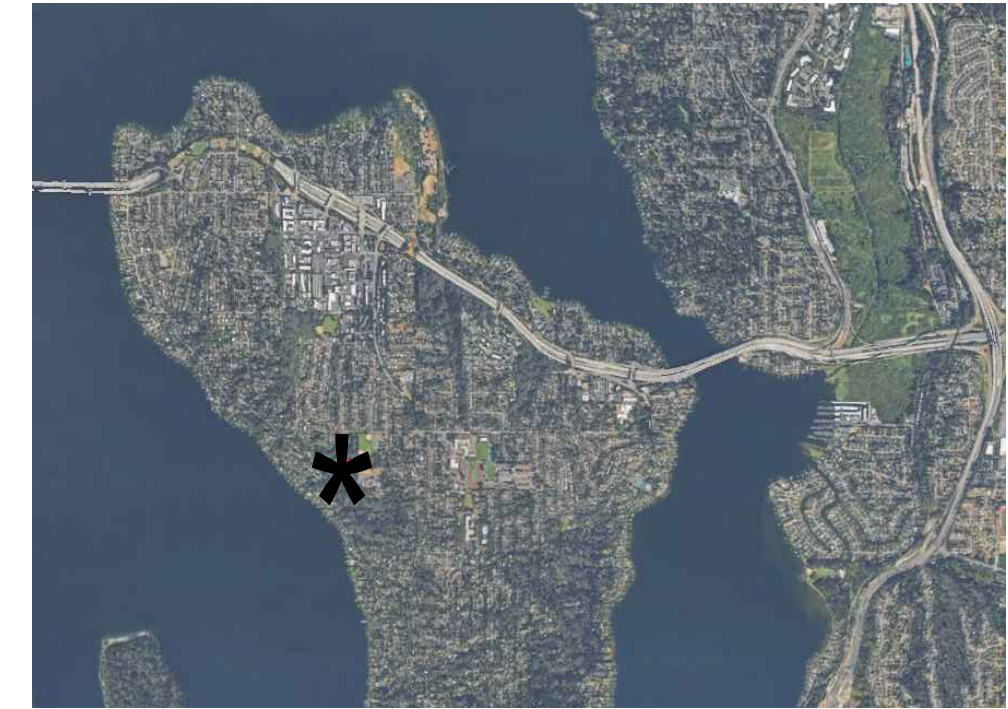
SHEET INDEX

A1.0 COVER SHEET - GENERAL & ENERGY NOTES, LEGAL, PROJECT DATA, SITE CALCS, SITE PLAN FULL SITE PLAN
A1.1 EXCAVATION, TREE REPLACEMENT PLAN
A1.2 SURVEY
A1.3 TESC PLAN & TREE RETENTION PLAN
A1.4 TESC & CITY NOTES, TESC DETAILS
C1.0 DRAINAGE & CIVIL PLAN
C2.0 STORMWATER DETAILS
C3.5 DETENTION PROFILE & DETAILS
C4.0 LOWER FLOOR PLAN
A2.0 MAIN FLOOR PLAN
A2.1 UPPER FLOOR
A2.2 ROOF PLAN
A3.0 EXTERIOR ELEVATIONS
A3.1 EXTERIOR ELEVATIONS
A4.0 BUILDING SECTIONS
A4.1 BUILDING SECTIONS
A5.0 WALL SECTIONS
A6.0 DOOR & WINDOW SCHEDULES ARCHITECTURAL DETAILS
S1 STRUCTURAL GENERAL NOTES
S2 FOUNDATION PLAN
S3 MAIN FLOOR FRAMING PLAN
S4 UPPER FLOOR FRAMING PLAN
S5 ROOF FRAMING PLAN
S6 STRUCTURAL DETAILS
S7 STRUCTURAL DETAILS

2021 WSEC CREDITS

Table with columns: OPTION, CREDITS, DESCRIPTION. Includes ENERGY EQUALIZATION CREDITS, SUMMARY OF TABLE R406.3, and TOTAL CREDITS: 8.

VICINITY MAP

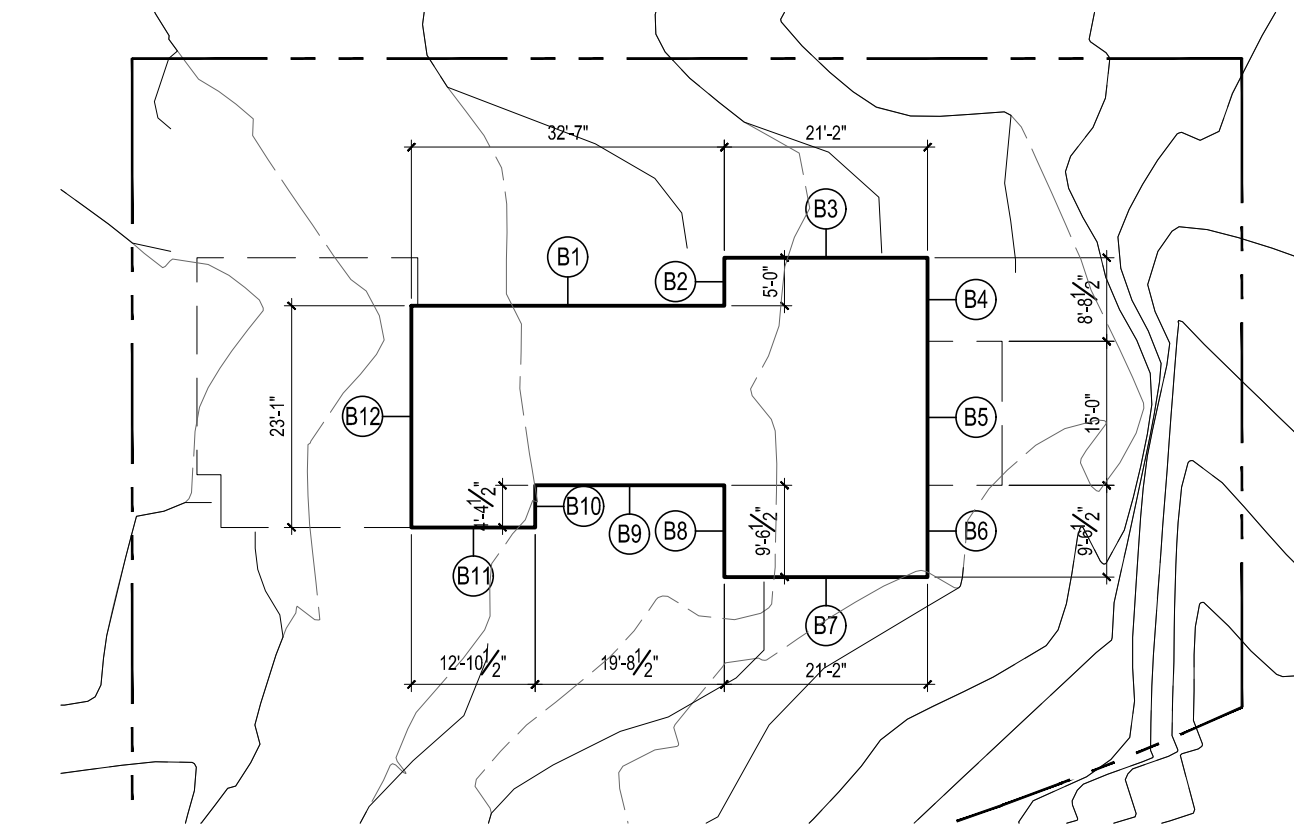


ENERGY NOTES

CLIMATIC ZONE: ZONE #4C-MARINE
THERMAL STANDARDS FOR OPENINGS: UNLIMITED OPTION
CODE: 2021 W.S.E.C. & 2021 IRC, WAC 51-11R
SPACE HEAT TYPE: ELECTRIC AIR SOURCE HEAT PUMP
INSULATION VALUES: PRESCRIPTIVE METHOD
WALLS: R-21+R-5 @ R-60
FLAT ATTICS/CEILINGS: R-38
VAULTED CEILINGS: R-38
FLOORS (OVER UNHEATED SPACES): R-38
SLAB-ON-GRADE: R-10
PER WSEC R401.3, A CERTIFICATE IS REQUIRED TO BE POSTED IN AN APPROVED LOCATION. IT MUST INCLUDE THE FOLLOWING: PREDOMINANT R-VALUES, U-VALUES OF FENESTRATION, RESULTS FROM DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING, THE EFFICIENCIES OF HEATING/COOLING/WATER HEATING EQUIPMENT AND THE CODE EDITION UNDER WHICH THE STRUCTURE WAS PERMITTED.

BASEMENT EXCLUSION

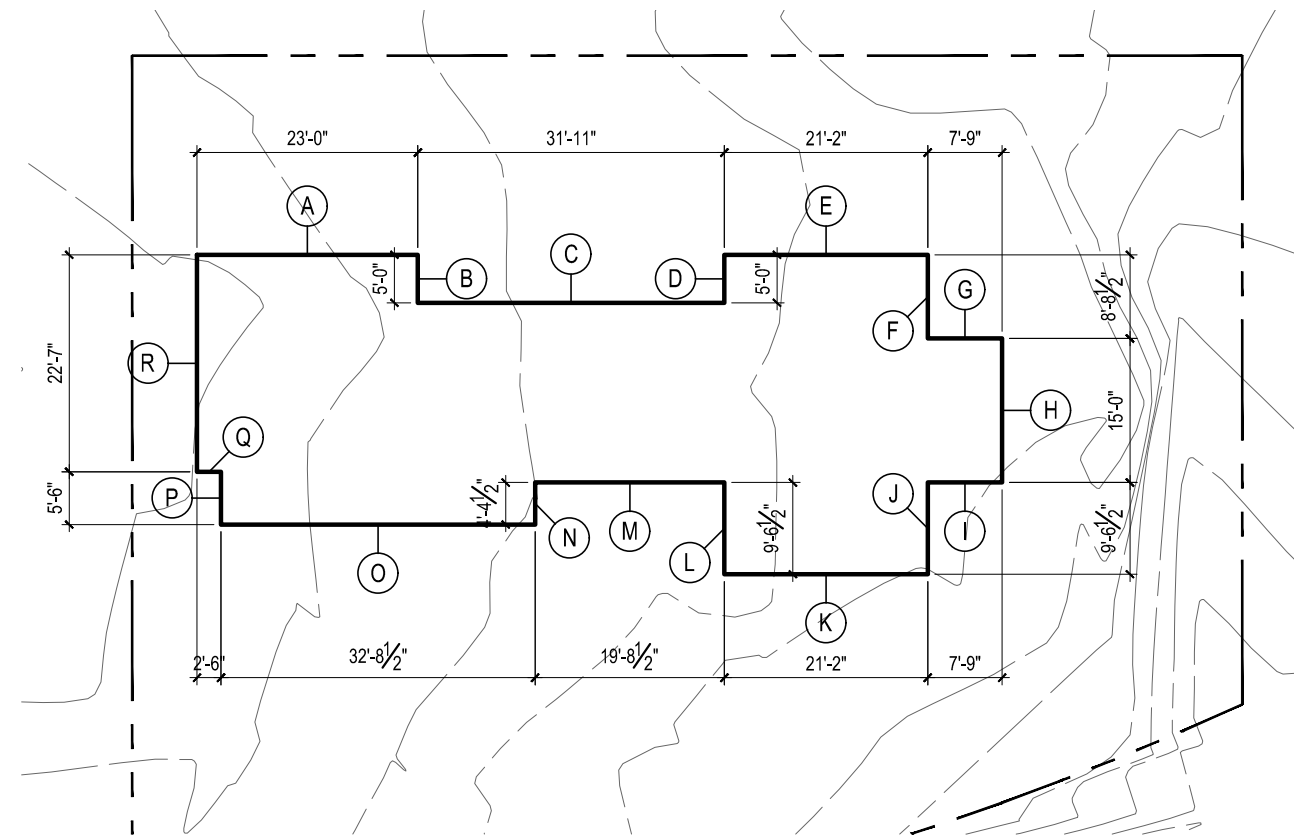
BASEMENT EXCLUSION CALCULATION table with columns: LENGTH, COVERAGE, RESULT. Includes a table for Portion of excluded Basement Floor Area = X SF.



THE MERCER ISLAND DEVELOPMENT CODE EXCLUDES THAT PORTION OF THE BASEMENT FLOOR AREA FROM THE GROSS FLOOR AREA WHICH IS BELOW THE EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER. THAT PORTION OF THE BASEMENT WHICH WILL BE EXCLUDED IS CALCULATED AS SHOWN.

AVERAGE BUILDING ELEV.

AVERAGE BUILDING ELEVATION table with columns: Wall Length, Elevation Pt., Wall Length X Elev. Pt. Includes a summary row for Average Building Elevation and Building Height Limit.



BUILDING AREA

Table with columns: LOWER FLOOR, MAIN FLOOR, UPPER FLOOR, HEATED SUB-TOTAL, GARAGE/WORKSHOP, GRAND TOTAL, UNHEATED PATIO.

LOT COVERAGE AND HARDSCAPE

Table with columns: GROSS LOT S.F., MAIN ROOF STRUCT, DRIVES/PARKING, TOTAL LOT COVERAGE, % LOT COVERAGE. Includes a note about LOT SLOPE IS 17.9%.

Table with columns: TRASH PAD, RETAINING WALLS, FRONT WALK, ADJ WALK, ADU STEPS, TOTAL HARDSCAPE, % HARDSCAPE.

GROSS FLOOR AREA

Table with columns: LOWER FLOOR, MAIN FLOOR, UPPER FLOOR, GARAGE, TOTAL GFA, % GFA. Includes a note about PER 19.02.020(D)(3)(b).

WHOLE HOUSE VENTILATION

a. WHOLE HOUSE VENTILATION SHALL BE PROVIDED BY ERV/HVW INTEGRAL FANS, PROVIDING MIN. 150 CFM RUNNING CONTINUOUSLY PER 2021 IRC TABLE M155.4.3 (1)(2). FAN SHALL BE LESS THAN 36 WATT PER CFM AND RUN CONTINUOUSLY, AND HAVE A SONE RATING OF LESS THAN 1.0. VENTILATION SHALL BE ABLE TO OPERATE INDEPENDENTLY OF HEATING SYSTEM.
b. SYSTEM SHALL HAVE A 3" SMOOTH FRESH AIR DUCT W/ DROUVER & SCREEN CONNECTED TO THE RETURN AIR STREAM 4' UPSTREAM OF THE AIR HANDLER AND SOUND INSULATED. ALL SUPPLY AND RETURN DUCTS IN INTERIOR SPACES SHALL ALSO BE INSULATED FOR SOUND.
c. SHALL HAVE A FILTER WITH A MERV OF AT LEAST 6 INSTALLED IN AN EASILY ACCESSIBLE LOCATION.
d. FRESH AIR VENT SHALL BE LOCATED AWAY FROM SOURCES OF ODORS OR FLAMES, MIN 10' FROM PLUMBING OR APPLIANCE VENTS, AWAY FROM ROOMS W/ FUEL BURNING APPLIANCES, AND OUT OF ATTICS, CRAWL SPACES, AND GARAGES.

Table with columns: ROOMS, VALUE. Includes BEDROOMS (5), HEATED SQUARE FOOTAGE (4718 SF), CFM @ 0.01(4718 SF) + 7.5(5+1 BEDROOMS), AIRFLOW (CFM) (93 CFM MIN).

DUTY OF COOP.

RELEASE AND ACCEPTANCE OF THESE DOCUMENTS INDICATES COOPERATION AMONG THE OWNER, CONTRACTOR, AND STURMAN ARCHITECTS. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED IN THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO STURMAN ARCHITECTS. FAILURE TO DO SO WILL RELIEVE STURMAN ARCHITECTS FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES.

ANY DEVIATION FROM THESE DOCUMENTS WITHOUT THE CONSENT OF STURMAN ARCHITECTS IS UNAUTHORIZED. FAILURE TO OBSERVE THESE PROCEDURES SHALL RELIEVE STURMAN ARCHITECTS OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING FROM SUCH ACTIONS.

NOXIOUS WEEDS

DEVELOPMENT PROPOSALS FOR A NEW SINGLE-FAMILY HOME SHALL REMOVE JAPANESE KNOTWEED (POLYGONUM CUSPIDATUM) AND REGULATED CLASS A, REGULATED CLASS B, AND REGULATED CLASS C WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED, FROM REQUIRED LANDSCAPING AREAS ESTABLISHED PURSUANT TO SUBSECTION 19.02.020(F)(3)(A). NEW LANDSCAPING ASSOCIATED WITH NEW SINGLE-FAMILY HOME SHALL NOT INCORPORATE ANY WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED. PROVIDED, THAT REMOVAL SHALL NOT BE REQUIRED IF THE REMOVAL WILL RESULT IN INCREASED SLOPE INSTABILITY OR RISK OF LANDSLIDE OR EROSION.

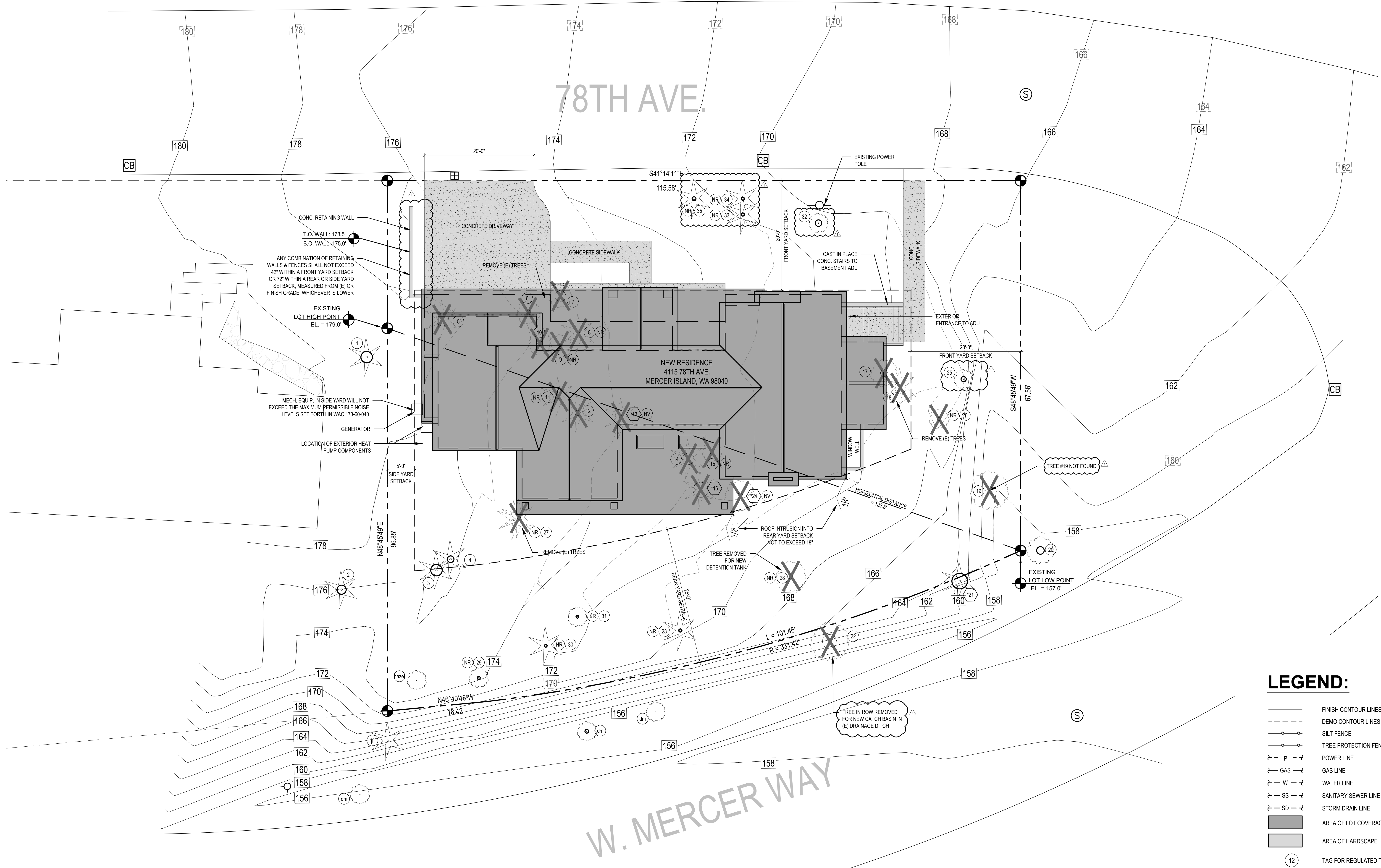
Table with columns: FLOOR AREA, BASEMENT EXCLUSION, STAR EXCLUSION, 12-16 CEILING, 16" CEILING, TOTAL GFA. Includes a note about NET LOT AREA and ALLOWED MAX. % GFA COVERAGE.

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PERMIT SET 01/20/2026

STURMAN ARCHITECTS logo and contact information. RKK SPEC HOUSE PERMIT SET 4115 78TH AVE SE MERCER ISLAND, WA 98040. SITE PLAN. A1.0. REVISIONS table. PLOT DATE: 1/20/2026. DRAWN BY: KE. CHECKED BY: BJS. SHEET.

78TH AVE.

W. MERCER WAY



NEW RESIDENCE
4115 78TH AVE.
MERCER ISLAND, WA 98040

- LEGEND:**
- FINISH CONTOUR LINES
 - - - DEMO CONTOUR LINES
 - SILT FENCE
 - TREE PROTECTION FENCING
 - P — POWER LINE
 - GAS — GAS LINE
 - W — WATER LINE
 - SS — SANITARY SEWER LINE
 - SD — STORM DRAIN LINE
 - AREA OF LOT COVERAGE
 - AREA OF HARDSCAPE
 - 12 TAG FOR REGULATED TREE
 - 13 TAG FOR EXCEPTIONAL TREE

SITE PLAN
SCALE: 1/16" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PERMIT SET 01/20/2026

REVISIONS:

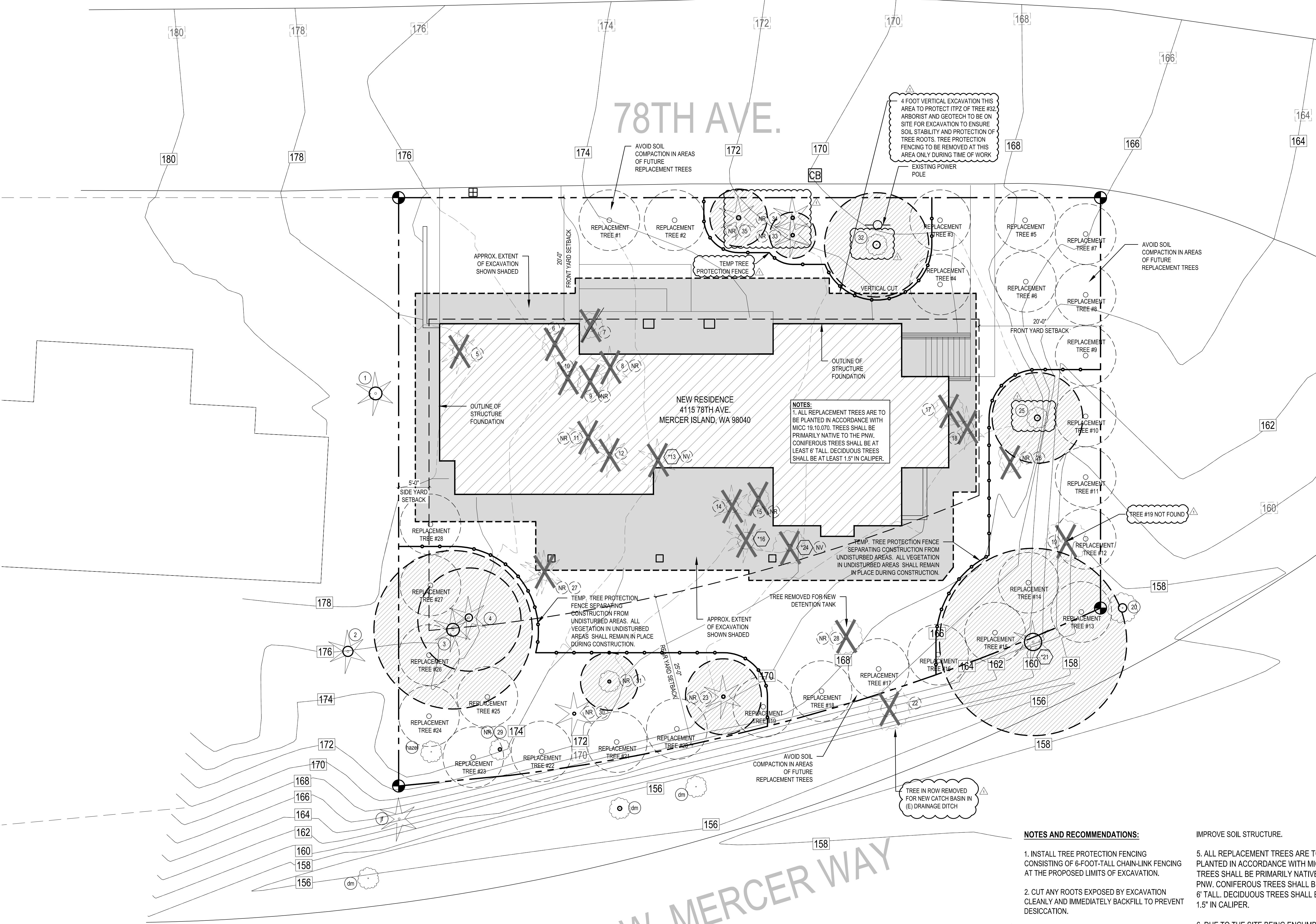
2026-01-20	Corrections #1
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PLOT DATE: 1/20/2026

DRAWN BY: KE

CHECKED BY: BJS

SHEET



TREE SCHEDULE -RKK78

TREE NO.	RETAIN OR REMOVE	REPLACEMENT NO.
VIABLE REGULATED TREES ON SITE - 14		
3	retain	
4	retain	
5	REMOVE	3
6	REMOVE	2
7	REMOVE	2
10	REMOVE	2
12	REMOVE	2
*13	REMOVE (dead)	1
14	REMOVE	3
*16	REMOVE	6
17	REMOVE	2
18	REMOVE	3
21	retain	
*24	REMOVE (dead)	1
25	retain	
32	retain	
*denotes exceptional tree		
NON-REGULATED TREES ON SITE - 14		
8	REMOVE	1
9	REMOVE	1
11	REMOVE	1
15	REMOVE	1
23	retain	
26	REMOVE	1
27	REMOVE	1
28	REMOVE	1
29	retain	
30	retain	
31	retain	
33	retain	
34	retain	
35	retain	
TREES IN THE ROW - 2		
20	retain	
22	REMOVE	6
TOTAL REPLACEMENTS:		40

REPLACEMENT TREES:
 ON-SITE:
 28
 A FEE-IN-LIEU OF IS BEING REQUESTED FOR THE REMAINDER OF THE REPLACEMENT TREES REQUIRED.

LEGEND:

- FINISH CONTOUR LINES
- - - DEMO CONTOUR LINES
- TREE PROTECTION FENCING
- INNER CRITICAL ROOT ZONE
- TREE DRIPLINE
- 12 TAG FOR REGULATED TREE
- *13 TAG FOR EXCEPTIONAL TREE
- NR TAG FOR NON-REGULATED OR NON-SIGNIFICANT TREE
- NV TAG FOR NON-VIABLE TREE
- AREA OF HOUSE FOUNDATION
- AREA OF APPROX. EXCAVATION
- AREA OF INNER CRZ

- NOTES AND RECOMMENDATIONS:**
- INSTALL TREE PROTECTION FENCING CONSISTING OF 6-FOOT-TALL CHAIN-LINK FENCING AT THE PROPOSED LIMITS OF EXCAVATION.
 - CUT ANY ROOTS EXPOSED BY EXCAVATION CLEANLY AND IMMEDIATELY BACKFILL TO PREVENT DESICCATION.
 - NOTIFY THE PROJECT ARBORIST IF ANY ROOTS IN EXCESS OF 2-INCHES ARE EXPOSED BY EXCAVATION SO THAT IMPACTS MAY BE REASSESSED.
 - CONSIDER INSTALLING A 4-INCH LAYER OF COARSE WOODY MULCH (ARBORIST WOODCHIPS) TO THE CRITICAL ROOT ZONE OF TREES 3, 4 AND 21 TO MITIGATE CONSTRUCTION STRESS AND IMPROVE SOIL STRUCTURE.
 - ALL REPLACEMENT TREES ARE TO BE PLANTED IN ACCORDANCE WITH MICC 19.10.070. TREES SHALL BE PRIMARILY NATIVE TO THE PNW. CONIFEROUS TREES SHALL BE AT LEAST 6' TALL. DECIDUOUS TREES SHALL BE AT LEAST 1.5" IN CALIPER.
 - DUE TO THE SITE BEING ENCUMBERED BY CRITICAL AREAS, ALL NON-VIABLE TREES OR TREES WITH DBSH < 10" WILL BE REQUIRED TO REPLANT (1) TREE PER TREE REMOVED.
 - IN AREAS WHERE REPLACEMENT TREES WILL BE PLANTED, AVOID SOIL COMPACTION TO ENSURE A BETTER CHANCE OF TREES THRIVING.

EXCAVATION & REPLACEMENT TREE PLAN
 SCALE: 1/8" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
 PERMIT SET 01/20/2026

STURMAN ARCHITECTS

REGISTERED ARCHITECT
 BRADLEY J. STURMAN
 STATE OF WASHINGTON
 345 18TH AVE SE Suite 110
 Bellevue, WA 98005
 TEL: 425.451.7003

RKK SPEC HOUSE PERMIT SET
 4115 78TH AVE SE
 MERCER ISLAND, WA 98040

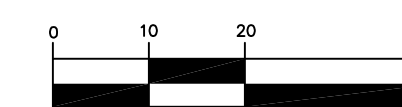
EXCAVATION & REPLACEMENT TREE PLAN

REVISIONS:
 2024-01-20 Corrections #1

PLOT DATE: 1/20/2026
 DRAWN BY: KE
 CHECKED BY: BJS
 SHEET

A1.2

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



JASON R KOEHLER
LOT SURVEY
TOPOGRAPHIC SURVEY
WASHINGTON
KING COUNTY

LOT 18
TAX LOT NO.
#283710-0012

REPLAT OF ISLAND PARK
VOL. 13 PG. 58
BLOCK 16

RIM=191.80'
SW 12" STEEL IE=177.97'
NW 12" STEEL IE=178.27'

LOT 2
TAX LOT NO.
#362350-0200

RIM=180.79'
N 6°PVC IE=177.98'
E 8°PVC IE=178.01'
W 6°PVC IE=178.90'
NW 4°PVC IE=177.72'

LOT 1
TAX LOT NO.
#362350-0210

W MERCER WAY



LEGEND:

- FOUND 1/4 CORNER, AS SHOWN
- FOUND MONUMENT, AS SHOWN
- ⊕ CALC. POS. OF PLAT/RECORD MON.
- ⊗ CALC. RECORD REBAR
- FOUND REBAR/PIPE, AS SHOWN
- FOUND CRONES REBAR (SET 05/2012)
- SET 5/8" REBAR & CAP, LS 29537
- ⊞ FOUND 2X2 WOOD LINE STAKE
- ⊕ INDICATES CENTERLINE
- ⊕ INDICATES SITE BENCHMARK USED
- (C) INDICATES CALCULATED VALUE
- (P) INDICATES VALUE OF RECORD PER PLAT (52/36)
- TBM TEMPORARY SITE BENCHMARK
- R/W RIGHT OF WAY
- E/P EDGE OF PAVEMENT
- CB CATCH BASIN
- ⊕ FIRE HYDRANT
- POWER POLE
- SANITARY SEWER MANHOLE
- TREE
- ⊕ WATER METER

TREE TABLE

T#	TREE	DBH	D/L
T1	PINE	29"	17'
T2	PINE	29"	16'
T3	MAPLE	11"	9'
T4	MAPLE	9"	14'
T5	MAPLE	10"	10'
T6	MAPLE	8"	12'
T7	PINE	7"	6'
T8	PINE	8"	9'
T9	PINE	11"	13'
T10	PINE	27"	17'
T11	PINE	33"	25'
T12	BIRCH	19"	7'
T13	MAPLE	9"	20'
T14	PINE	24"	22'
T15	CEDAR	22"	19'
T16	PINE	6"	7'
T17	PINE	7"	10'
T18	MAPLE	7"	12'
T19	PINE	7"	9'
T20	BIRCH	6"	5'
T21	MAPLE	8"	12'
T22	PINE	6"	5'
T23	MAPLE	9"	21'
T24	MAPLE	24"	25'
T25	PINE	27"	18'
T26	MAPLE	14"	20'
T27	MAPLE	7"	10'
T28	MAPLE	10"	17'
T29	PINE	25"	30'
T30	MAPLE	15"	20'
T31	CONIFEROUS	-	-
T32	DECIDUOUS	-	-
T33	CONIFEROUS	-	-
T34	DECIDUOUS	-	-

VERTICAL DATUM:

THE ELEVATIONS AND CONTOURS SHOWN HEREON ARE BASED UPON WGS SURVEY DATA WAREHOUSE DESIGNATION 504, CITY OF MERCER ISLAND BENCHMARK (DATABASE ID: 47744) ELEVATION = 193.40' NAVD88.

SET AN ONSITE TEMPORARY BENCHMARK: PK NAIL IN PAVEMENT, ELEVATION = 171.01 FEET.

CONTOUR INTERVAL: 2 FOOT.

SITE ADDRESS:
4115 78TH AVE SE, MERCER
ISLAND, WA 98040

LEGAL DESCRIPTION:
LOT 1, CITY OF MERCER ISLAND SHORT SUBDIVISION NO. SUB0010-003, AS PER SHORT PLAT RECORDED JULY 19, 2002 UNDER RECORDING NO. 2002071990001, IN KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS MAP IS BETWEEN TWO FOUND MONUMENTS, ALONG THE CENTERLINE OF SE 40TH ST., BEARING N90°00'00"E, AS SHOWN.

NOTES:

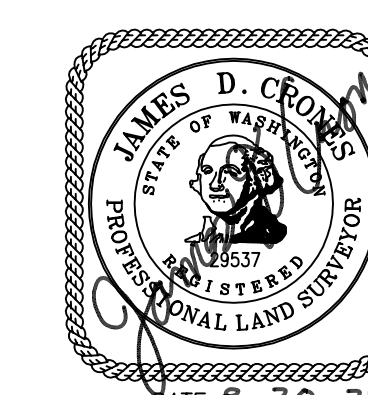
FIELD MEASUREMENTS FOR THIS SURVEY PERFORMED WITH A 2" TOPCON TOTAL STATION USING TRAVERSE METHODS THAT MEET OR EXCEED ACCURACY REQUIREMENTS CONTAINED IN WAC 332.130.090.
THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THEREFORE DOES NOT PURPORT TO SHOW ALL EASEMENTS OR RESTRICTIONS OF RECORD, IF ANY. THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP ARE PER RECORD TITLE INFORMATION AND REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.
THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT NAMED HEREIN, TO BE USED ONLY FOR THE PURPOSE FOR WHICH IT WAS ORIGINALLY INTENDED. ITS USE DOES NOT EXTEND TO, AND IS NOT AUTHORIZED FOR USE BY ANY UNNAMED PERSON OR PERSONS. THIS SURVEY IS NOT TRANSFERABLE TO ANY OTHER PARTY WITHOUT THE EXPRESS PERMISSION AND RECERTIFICATION BY THIS SURVEYOR TO ANOTHER PARTY.
ALL FOUND SURVEY EVIDENCE WAS VISITED ON THE DATE OF THIS SURVEY UNLESS OTHERWISE NOTED.
COPYRIGHT BY CRONES SURVEYING, INC.

RIM=170.49'
NE 12" STEEL IE=161.84'
SE 12" STEEL IE=161.80'
W 12" STEEL IE=161.84'

SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION, AT THE REQUEST OF JASON R KOEHLER, IN JULY, 2024.

James D. Croner



Revisions

Drawing Date AUGUST 20/2024
Scale 1" = 20'
Surveyed JL/SL/GK/SC
Drawn SAM
Checked JDC
Filename KOEHU-02A-TOPO

SHEET
1 of 1

TREE PROTECTION AREA (TPZ)

KEEP OUT!

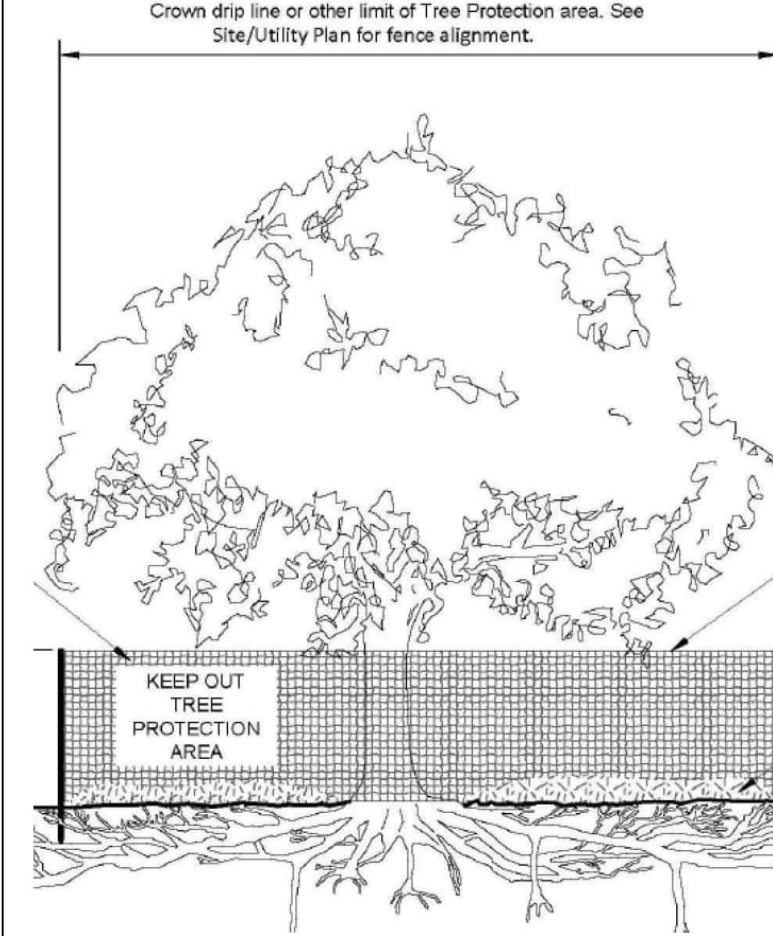
DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

1. Correction Notices or Stop Work Orders until compliance is achieved
2. RE Inspection Fees/financial penalties
3. Arborist reports recommending mitigation

Notes

1. No pruning shall be performed unless under the direction of the Project Arborist. Including limbing trees up.
2. No grading, excavation, storage (materials, equipment, vehicles, etc.), or other unpermitted activity shall occur inside the protective fencing.
3. Penalties for damaging by root damage/compaction or removing a saved tree may be a fine up to three times the value of the tree plus restoration (MICC 19.10.160).
4. Any work in approved TPZ must be with the permission of the City Arborist (206) 275-7713, john.kenney@mercergov.org.
5. 5" course woodchips within the tree protection zone, but not against the tree trunk.

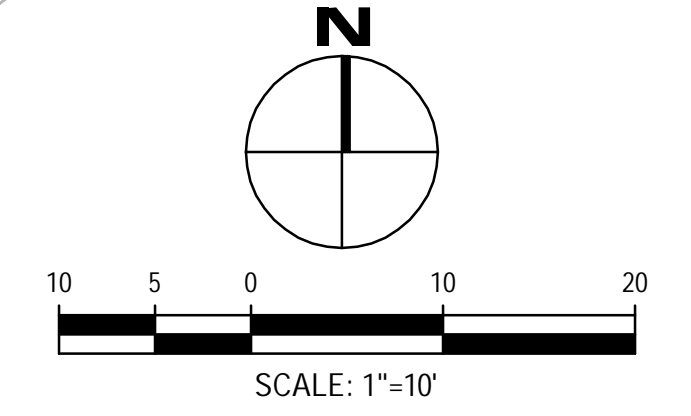


Tree protection fence: 6' chain link fence, solidly anchored into the ground, or if authorized High-density polyethylene fencing with 3.5" x 1.5" openings; color orange. Steel posts installed at 8' o.c.

2" x 6" steel posts or approved equal

Maintain existing grade with the tree protection fence unless otherwise indication on the plans

Any Work in the protected area must be with the permission of the City Arborist john.kenney@mercergov.org



EROSION CONTROL LEGEND

LIMITS OF DISTURBANCE	Symbol
FILTER FABRIC FENCE (SILT FENCE)	SF
STABILIZED CONSTRUCTION ENTRANCE	CE
CATCH BASIN INLET PROTECTION	IP
TREE PROTECTION FENCING	TP
STRAW WATTLES	SW
MULCHING	ML

LEGAL DESCRIPTION

LOT 1 OF D.B. REPLAY OF ISLAND PARK, AS PER PLAT RECORDED IN VOLUME 13 OF PLATS, PAGE 58, RECORDS OF KING COUNTY AUDITOR.
SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

ORGANIC SOIL REQUIREMENT

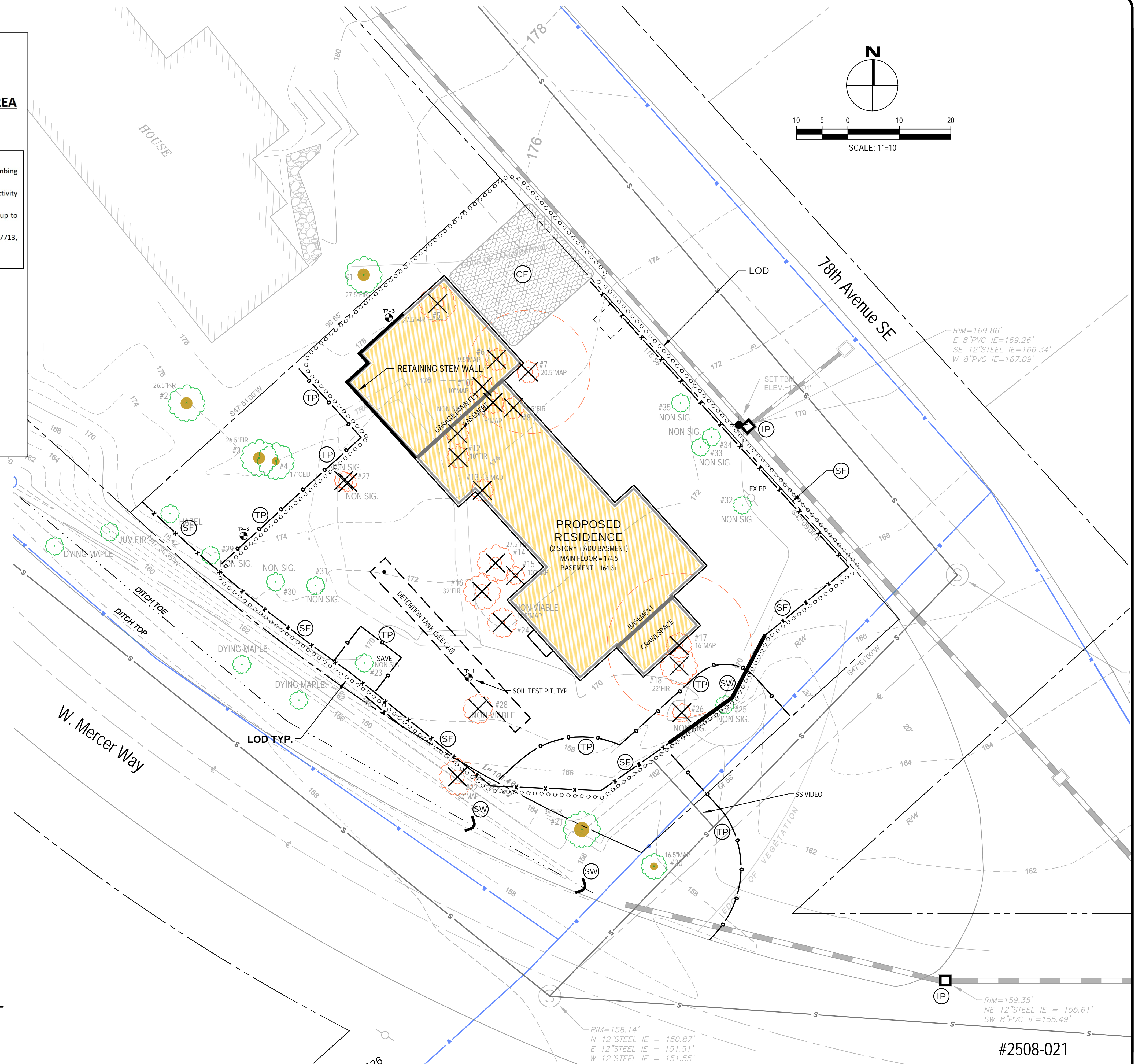
MINIMUM 10% ORGANIC MULCH & COMPOST SOIL REQUIRED

SOIL AMENDMENT REQUIRED

COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL ON C3.5.

SOIL INSPECTION REQUIRED

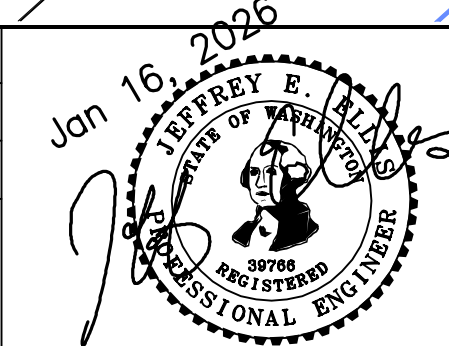
A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.



NO.	DATE	BY	REVISIONS

APPLICANT
JASON KOEHLER
RKK CONSTRUCTION
3056 70th AVENUE SE
MERCER ISLAND, WA 98040
206-236-2920

DATE: Jan 16, 2026
JOB#: 2117
DRAFTED: SS DESIGN: SS
DIGITAL SIGNATURE

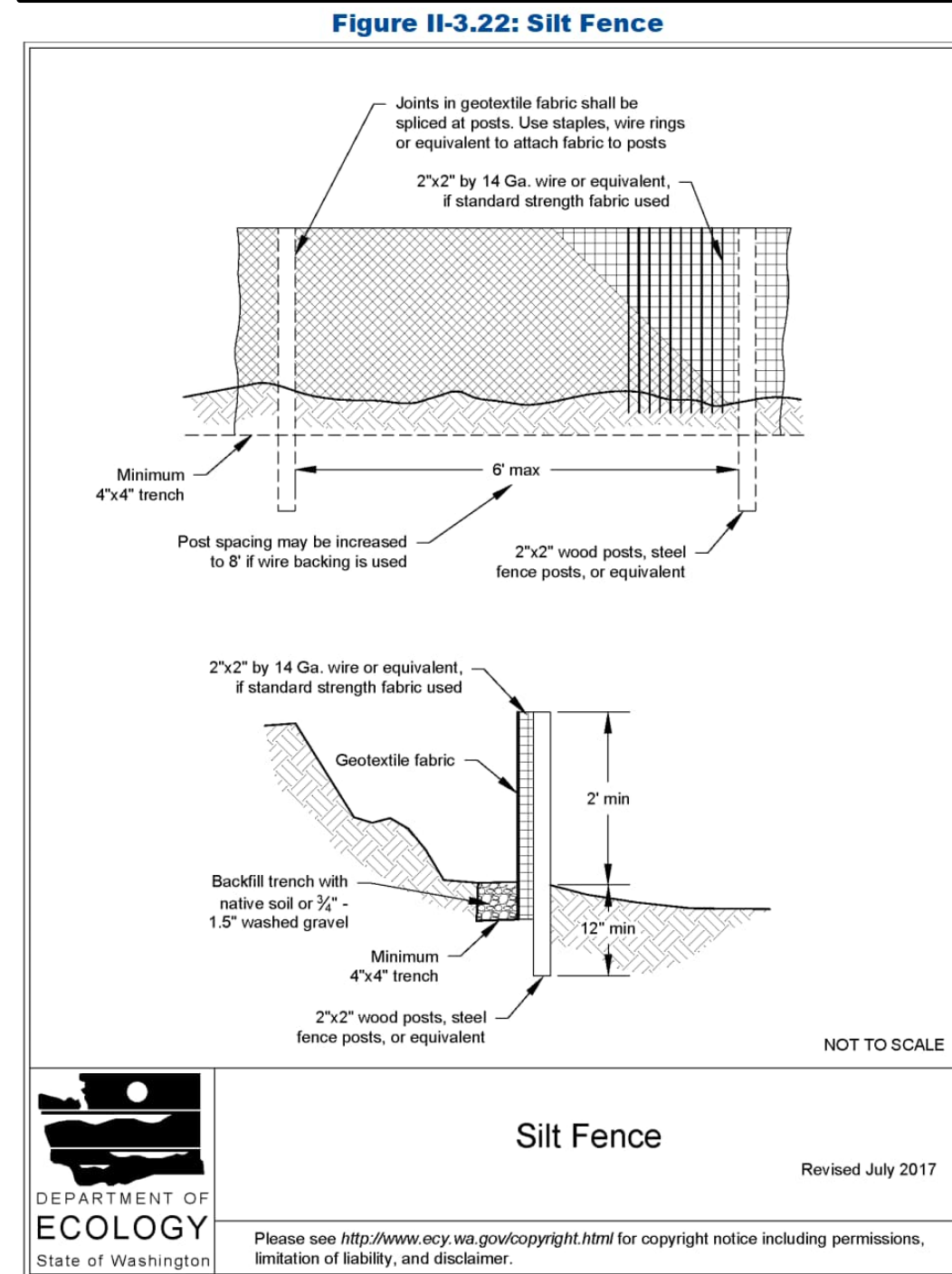


CIVIL ENGINEERING SOLUTIONS
908 NW 51st STREET SEATTLE, WA 98107
206.930.0342 DUFFY@CESOLUTIONS.WA

TESC PLAN TREE RETENTION PLAN
RKK HOUSE
4115 78th AVE SE, MERCER ISLAND, WA 98040

#2508-021
DRAWING NO: **C1.0**
APN 362350-0210 2508-021

SILT FENCE DETAIL DOE



RECOMMENDED CONSTRUCTION SEQUENCE

- A DETAILED CONSTRUCTION SEQUENCE IS NEEDED TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURES ARE APPLIED AT THE APPROPRIATE TIMES. A RECOMMENDED CONSTRUCTION SEQUENCE IS PROVIDED BELOW:
1. HOLD AN ONSITE PRE-CONSTRUCTION MEETING.
 2. POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR (MAY BE CONSOLIDATED WITH THE REQUIRED NOTICE OF CONSTRUCTION SIGN).
 3. FLAG OR FENCE CLEARING LIMITS.
 4. INSTALL CATCH BASIN PROTECTION, IF REQUIRED.
 5. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
 6. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
 7. CONSTRUCT SEDIMENT PONDS AND TRAPS.
 8. GRADE AND STABILIZE CONSTRUCTION ROADS.
 9. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
 10. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
 11. RELOCATE SURFACE WATER CONTROLS OR TESC MEASURES, OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE TESC IS ALWAYS IN ACCORDANCE WITH CITY OF MERCER ISLAND TESC REQUIREMENTS.
 12. COVER ALL AREAS THAT WILL BE UN-WORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) OR TWO DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
 13. STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
 14. SEED, SOD, STABILIZE, OR COVER ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
 15. UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMPS IF APPROPRIATE.

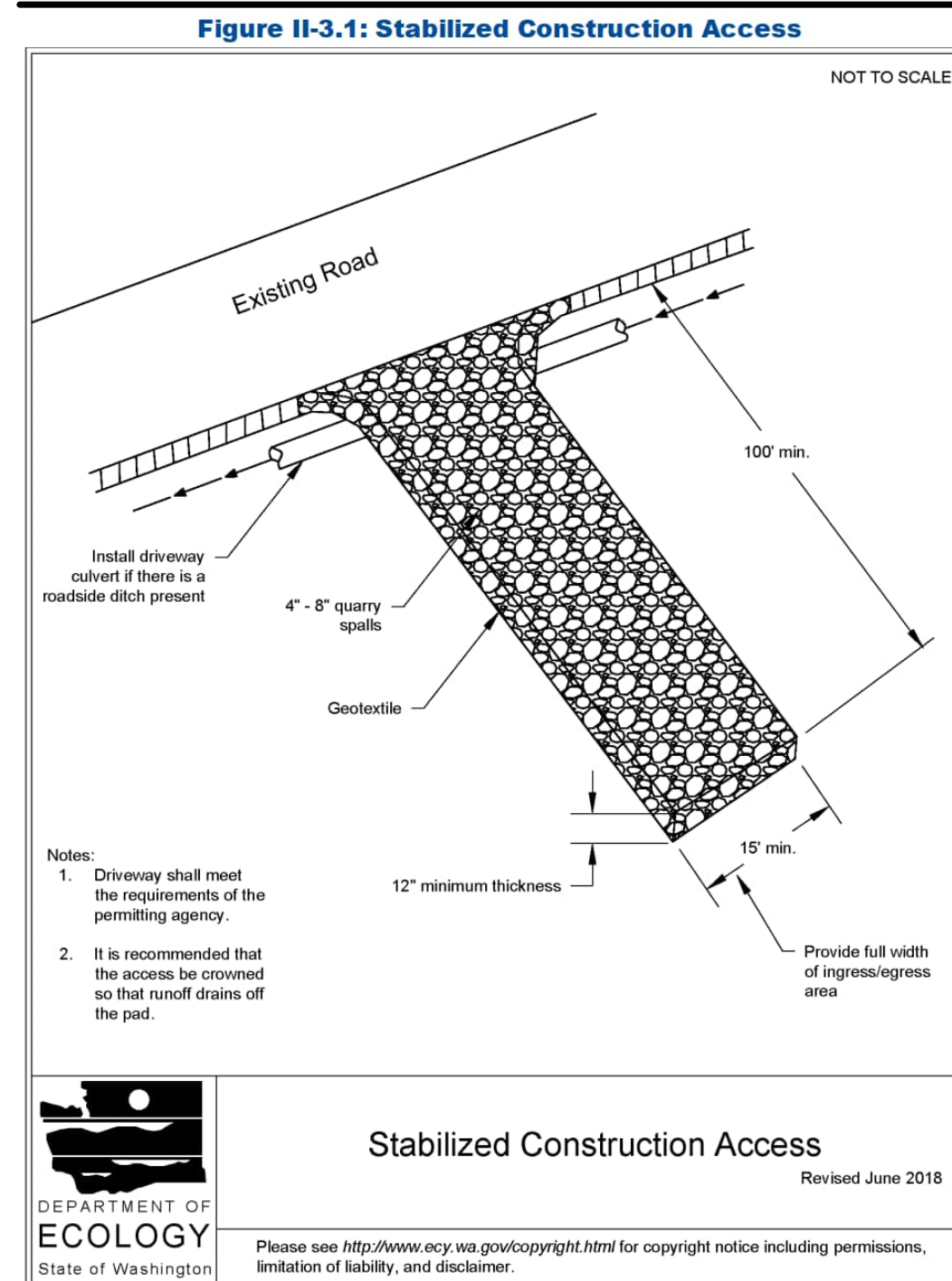
EROSION CONTROL NOTES

- 2021 KC SWDM D.4.1 STANDARD ESC PLAN NOTES
1. APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
 2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
 3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED, PRIOR TO CONSTRUCTION (SWDM APPENDIX D). DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
 4. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.
 5. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, FLOW CONTROL BMP LOCATIONS (EXISTING AND PROPOSED), AND ADJACENT PROPERTIES IS MINIMIZED.
 6. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL COVER MEASURES, ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, PERIMETER PROTECTION ETC.) AS DIRECTED BY KING COUNTY.
 7. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES.
 8. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
 9. ANY AREA NEEDING ESC MEASURES THAT DO NOT REQUIRE IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
 10. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH DURING THE DRY SEASON, BI-MONTHLY DURING THE WET SEASON, OR WITHIN TWENTY FOUR (24) HOURS FOLLOWING A STORM EVENT.
 11. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
 12. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY. FLOW CONTROL BMP AREAS (EXISTING OR PROPOSED) SHALL NOT BE USED AS TEMPORARY FACILITIES AND SHALL BE PROTECTED FROM SEDIMENTATION AND INTRUSION.
 13. COVER MEASURES WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE KING COUNTY SURFACE WATER DESIGN MANUAL.
 14. PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEEDED AND THOSE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE DLS-PERMITTING INSPECTOR.

CITY NOTES

1. ANY CHANGES TO THE APPROVED PLANS REQUIRES CITY APPROVAL THROUGH A REVISION.
2. APPLICANT IS RESPONSIBLE FOR ANY DAMAGES TO UNDERGROUND UTILITIES CAUSED FROM THIS CONSTRUCTION.
3. CATCH BASIN FILTERS SHOULD BE PROVIDED FOR ALL STORM DRAIN CATCH BASIN/INLETS DOWNSLOPE AND WITHIN 500 FEET OF THE CONSTRUCTION AREA. CATCH BASIN FILTERS SHOULD BE DESIGNED BY THE MANUFACTURER FOR USE AT CONSTRUCTION SITES AND APPROVED BY THE CITY INSPECTOR. CATCH BASIN FILTERS SHOULD BE INSPECTED FREQUENTLY, ESPECIALLY AFTER STORM EVENTS. IF THE FILTER BECOMES CLOGGED, IT SHOULD BE CLEANED OR REPLACED.
4. CONTRACTORS SHALL VERIFY LOCATIONS AND DEPTHS OF UTILITIES.
5. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, CALL "ONE CALL" AT 1.800.424.5555
6. DO NOT BACKFILL WITH NATIVE MATERIAL ON PUBLIC RIGHT-OF-WAY. ALL MATERIAL MUST BE IMPORTED.
7. EROSION CONTROL: ALL "LAND DISTURBING ACTIVITY" IS SUBJECT TO PROVISIONS OF MERCER ISLAND ORDINANCE 95C-118 "STORM WATER MANAGEMENT." SPECIFIC ITEMS TO BE FOLLOWED AT YOUR SITE:
8. PROTECT ADJACENT PROPERTIES FROM ANY INCREASED RUNOFF OR SEDIMENTATION DUE TO THE CONSTRUCTION PROJECT THROUGH THE USE OF APPROPRIATE "BEST MANAGEMENT PRACTICES" (BMP) EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO, SEDIMENT TRAPS, SEDIMENT PONDS, FILTER FABRIC FENCES, VEGETATIVE BUFFER STRIPS OR BIOENGINEERED SWALES.
9. CONSTRUCTION ACCESS TO THE SITE SHOULD BE LIMITED TO ONE ROUTE. STABILIZE ENTRANCE WITH QUARRY SPALLS TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING THE STORM DRAINS.
10. PREVENT SEDIMENT, CONSTRUCTION DEBRIS, PAINTS, SOLVENTS, ETC., OR OTHER TYPES OF POLLUTION FROM ENTERING PUBLIC STORM DRAINS. KEEP ALL POLLUTION ON YOUR SITE.
11. ALL EXPOSED SOILS SHALL REMAIN DENUDED FOR NO LONGER THAN SEVEN (7) DAYS AND SHALL BE STABILIZED WITH MULCH, HAY, OR THE APPROPRIATE GROUND COVER. ALL EXPOSED SOILS SHALL BE COVERED IMMEDIATELY DURING ANY RAIN EVENT.
12. INSTALLATION OF CONCRETE DRIVEWAYS, TREES, SHRUBS, IRRIGATION, BOULDERS, BERMS, WALLS, GATES, AND OTHER IMPROVEMENTS ARE NOT ALLOWED IN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL, AND AN ENCROACHMENT AGREEMENT AND RIGHT OF WAY PERMIT FROM THE SENIOR DEVELOPMENT ENGINEER.
13. OWNER SHALL CONTROL DISCHARGE OF SURFACE DRAINAGE RUNOFF FROM EXISTING AND NEW IMPERVIOUS AREAS IN A RESPONSIBLE MANNER. CONSTRUCTION OF NEW GUTTERS AND DOWNSPOUTS, DRY WELLS, LEVEL SPREADERS OR DOWNSTREAM CONVEYANCE PIPE MAY BE NECESSARY TO MINIMIZE DRAINAGE IMPACT TO YOUR NEIGHBORS. CONSTRUCTION OF MINIMUM DRAINAGE IMPROVEMENTS SHOWN OR CALLED OUT ON THIS PLAN DOES NOT IMPLY RELIEF FROM CIVIL LIABILITY FOR YOUR DOWNSTREAM DRAINAGE.
14. POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
15. REMEMBER: EROSION CONTROL IS YOUR FIRST INSPECTION.
16. ROOF DRAINS MUST BE CONNECTED TO THE STORM DRAIN SYSTEM AND INSPECTED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO ANY BACKFILLING OF PIPE.
17. SILENT FENCE: CLEAN AND PROVIDE REGULAR MAINTENANCE OF THE SILT FENCE. THE FENCE IS TO REMAIN VERTICAL AND IS TO FUNCTION PROPERLY THROUGHOUT THE TERM OF THE PROJECT.
18. WORK IN PUBLIC RIGHT OF WAY REQUIRES A RIGHT-OF-WAY USE PERMIT.
19. REFER TO WATER SERVICE PERMIT FOR ACTUAL LOCATION OF NEW WATER METER AND SERVICE LINE DETERMINED BY MERCER ISLAND WATER DEPARTMENT.
20. THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN IS REQUIRED. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED. ALTERNATELY, A PRESSURE TEST OF THE SIDE SEWER, FROM SEWER MAIN TO POINT OF CONNECTION, MAY BE SUBSTITUTED FOR THE VIDEO INSPECTION.
21. NEWLY INSTALLED SIDE SEWER REQUIRES A 4 P.S.I. AIR TEST OR PROVIDE 10' OF HYDROSTATIC HEAD TEST.
22. POT HOLING THE PUBLIC UTILITIES IS REQUIRED PRIOR TO ANY GRADING ACTIVITIES LESS THAN 6" OVER THE PUBLIC MAINS (WATER, SEWER AND STORM SYSTEMS). IF THERE IS A CONFLICT, THE APPLICANT IS REQUIRED TO SUBMIT A REVISION FOR APPROVAL PRIOR TO ANY GRADING ACTIVITIES OVER THE PUBLIC MAINS.
23. THE LIMITS AND EXTENDS OF THE PAVEMENT IN THE PUBLIC RIGHT OF WAY SHALL BE DETERMINED BY THE CITY ENGINEER PRIOR TO FINALIZE THE PROJECT.

CONSTRUCTION ENTRANCE DOE



DENUDED AREAS REQUIREMENTS

APRIL 1 TO SEPT 30
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 7 DAYS OF CONSTRUCTION. PLEASE READ ALL CITY TESC NOTES ON SHEET C1.2.

OCT 1 TO MARCH 31
ALL DENUDED AREAS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING. IF AN EROSION PROBLEM ALREADY EXISTS ON THE SITE, OTHER COVER PROTECTION AND EROSION CONTROL WILL BE REQUIRED.

2021 KC SWDM D.4.1 STANDARD SWPPS PLAN NOTES:

1. ALL POLLUTANTS, INCLUDING WASTE MATERIALS, THAT OCCUR ONSITE SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER.
2. COVER, CONTAINMENT, AND PROTECTION FROM VANDALISM SHALL BE PROVIDED FOR ALL CHEMICALS, LIQUID PRODUCTS, PETROLEUM PRODUCTS, AND NON-INERT WASTES PRESENT ON THE SITE (SEE CHAPTER 173-304 WAC FOR THE DEFINITION OF INERT WASTE). ONSITE FUELING TANKS SHALL INCLUDE SECONDARY CONTAINMENT.
3. MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM DRAIN DOWN, SOLVENT AND DE-OILING CLEANING OPERATIONS, FUEL TANK DRAIN DOWN AND REMOVAL, AND OTHER ACTIVITIES WHICH MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF MUST BE CONDUCTED USING SPILL PREVENTION MEASURES, SUCH AS DRIP PANS. CONTAMINATED SURFACES SHALL BE CLEANED IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILL INCIDENT. EMERGENCY REPAIRS MAY BE PERFORMED ONSITE USING TEMPORARY PLASTIC PLACED BENEATH AND, IF RAINING, OVER THE VEHICLE.
4. APPLICATION OF AGRICULTURAL CHEMICALS, INCLUDING FERTILIZERS AND PESTICIDES, SHALL BE CONDUCTED IN A MANNER AND AT APPLICATION RATES THAT WILL NOT RESULT IN LOSS OF CHEMICAL TO STORMWATER RUNOFF. MANUFACTURER'S RECOMMENDATIONS FOR APPLICATION RATES AND PROCEDURES SHALL BE FOLLOWED.
5. MEASURES SHALL BE USED TO PREVENT OR TREAT CONTAMINATION OF STORMWATER RUNOFF BY PH MODIFYING SOURCES. THESE SOURCES INCLUDE, BUT ARE NOT LIMITED TO, BULK CEMENT, CEMENT KILN DUST, FLY ASH, NEW CONCRETE WASHING AND CURING WATERS, WASTE STREAMS GENERATED FROM CONCRETE GRINDING AND SAWING, EXPOSED AGGREGATE PROCESSES, AND CONCRETE PUMPING AND MIXER WASHOUT WATERS. STORMWATER DISCHARGES SHALL NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF THE WATER QUALITY STANDARD FOR PH IN THE RECEIVING WATER.

#2508-021

NO.	DATE	BY	REVISIONS	APPLICANT JASON KOEHLER RKK CONSTRUCTION 3056 70th AVENUE SE MERCER ISLAND, WA 98040 206-236-2920	DATE: Jan 16, 2026 JOB#: 2117 DRAFTED: SS DESIGN: DE DIGITAL SIGNATURE		CIVIL ENGINEERING SOLUTIONS 908 NW 51st STREET SEATTLE, WA 98107 206.930.0342 DUFFY@CESOLUTIONS.WA	TESC & CITY NOTES TESC DETAILS RKK HOUSE 4115 78th AVE SE, MERCER ISLAND, WA 98040	DRAWING NO: C1.2 APN 362350-0210 2508-021
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SANITARY SEWER IMPROVEMENTS

- ① -
- ② - 4" SS ON PRIVATE PROPERTY: SDR 35 PVC SANITARY SEWER(SS) @ MIN 1.0 %
- ③ -
- ④ - 6" SEWER CLEANOUT PER MERCER ISLAND DETAIL S-19
- ⑦ - LOCATE AND VIDEO CONDITION OF EXISTING SANITARY SIDE SEWER. REPLACE LINE IF FOUND DEFECTIVE AS DETERMINED BY CITY INSPECTOR.

WATER IMPROVEMENTS

- ⑩ - RESIDENTIAL 1" WATER SERVICE & METER PIT. CONFIRM REQUIRED SIZE WITH BUILDING PERMIT REVIEW. INSTALL PER MERCER ISLAND DETAIL W-13, W-14, OR W-14A
- ⑪ - 1.5" 250 PSI PRIVATE HDPE WATER (ASTM D2239) FROM METER TO HOUSE. RECOMMENDED DEPTH-36". COORDINATE HOUSE ENTRY WITH BUILDER/OWNER.
- ⑫ -
- ⑭ -

STORM DRAIN PIPE KEY NOTES

- ⑳ - 4" STORM DRAIN (3034 PVC) @ MIN 1 % GRADE. USE HDPE DUAL WALL OR EQUIVALENT WHEN PIPE COVER <24" IN PAVED AREAS.
- ㉑ - 4" FOUNDATION DRAIN (3034 PVC) @ MIN 1 % GRADE
- ㉒ -
- ㉓ - 8" STORM DRAIN. (SDR 35 PVC OR EQUAL). SEE PROFILE FOR GRADE.
- ㉔ - 12" STORM DRAIN (SDR 35 PVC; or HDPE N12; OR EQUAL).
- ㉕ -

STORM STRUCTURE KEY NOTES

- ③① - TYPE 1 CB WITH BEEHIVE GRATE.
- ③② -
- ③③ -
- ③④ -
- ③⑤ -
- ③⑥ - 6" WIDE NDS DURASLOPE CHANNEL DRAIN KIT OR EQUAL. CLASS B VEHICLE RATED GRATE.
- ③⑧ -
- ③⑦ - PRIVATE STORM CLEANOUT. PROVIDE PROTECTIVE COVER IF WARRANTED.
- ③⑨ - SADDLE TEE CONNECTION- ROMAG CB SEWER SADDLE (OR EQUAL)
- ④① - TYPE 10 PRIVATE CATCH BASIN OR EQUAL. PROVIDE RISOR WITH TURNED DOWN ELBOW FOR IMPROVED WATER QUALITY FUNCTION.
- ④② - 54" ID TYPE 2 MH CONTROL STRUCTURE WITH SOLID LID. SEE ALL DETAILS AND PROFILE C4.0.
- ④③ -
- ④④ -
- ④⑤ -
- ④⑥ -
- ④⑦ - DETENTION PIPE: DUAL WALL HDPE OR ALUMINIZED CMP @ 0.5 % GRADE. SEE PLAN FOR SIZE AND CONFIGURATION. SEE PROFILE, NOTES, AND DETAILS ON C4.0.
- ④⑧ -

STORM BMP's

- ⑤① - COMPOST AMENDED SOIL TO ALL DISTURBED AREAS (SEE DETAIL SHEET C3.5). TILL 2-3" OF COMPOST INTO UPPER 8" OF SOIL. LOOSEN COMPACTED SUBSOIL, IF NEEDED BY RIPPING TO 12" DEPTH. MULCH LANDSCAPE BEDS AFTER PLANTING.
- ⑤② -
- ⑤③ -
- ⑤④ -
- ⑤⑤ -
- ⑤⑥ -
- ⑤⑦ -
- ⑤⑧ -

SOILS

SEE NOV. 2024 REPORT BY EARTH SOLUTIONS NW
SITE UNDERLAIN BY GLACIAL TILL
INFILTRATION IS NOT RECOMMENDED

SURVEYOR

TOPOGRAPHIC SURVEY BY:
CRONES LAND SURVEYING
23806 190th AVENUE SE
KENT, WA 98042
PHONE 425-432-5930
WWW.CRONES.COM

VERTICAL DATUM

SEE SURVEY

LEGAL DESCRIPTION

SEE C1.0

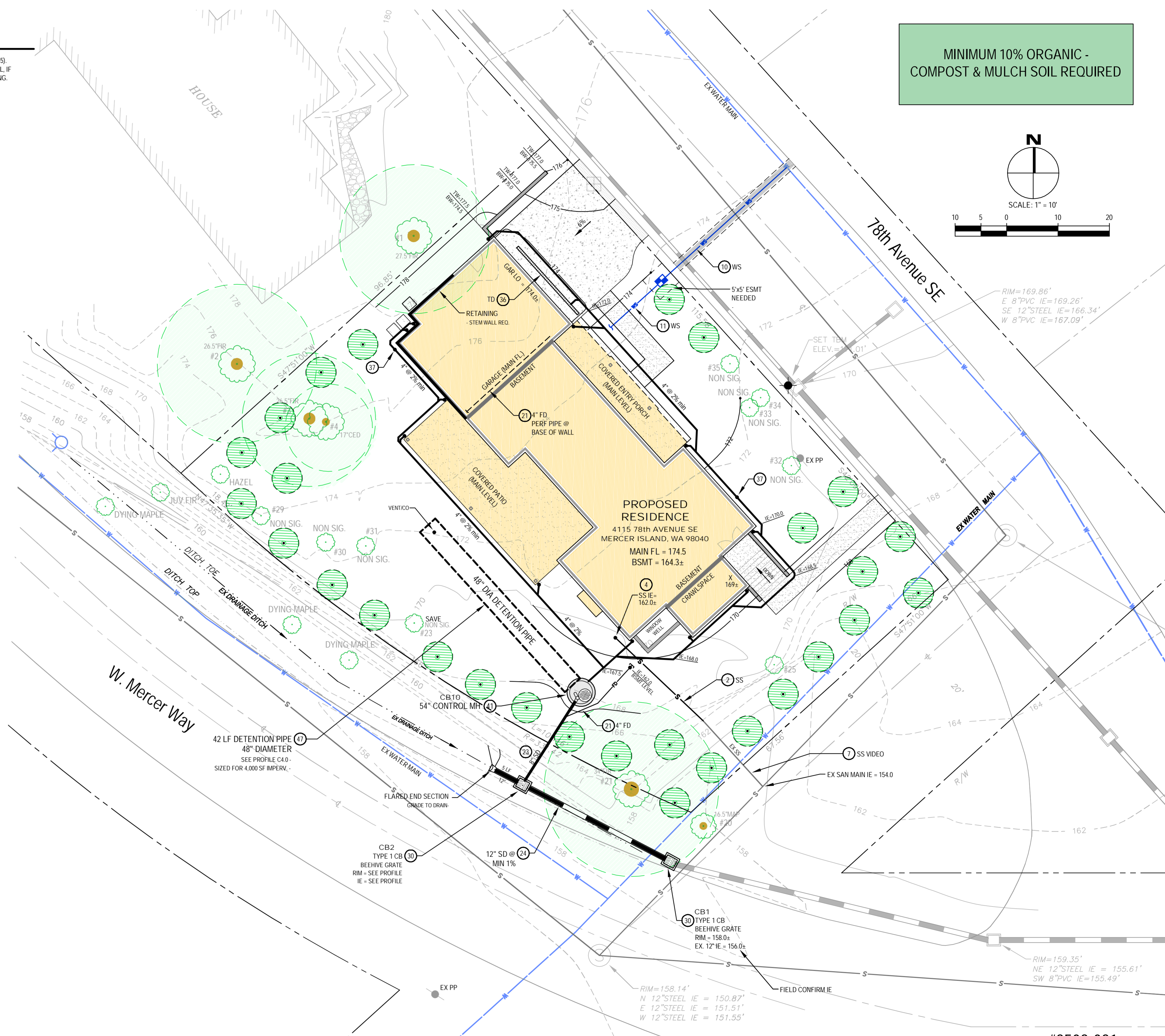
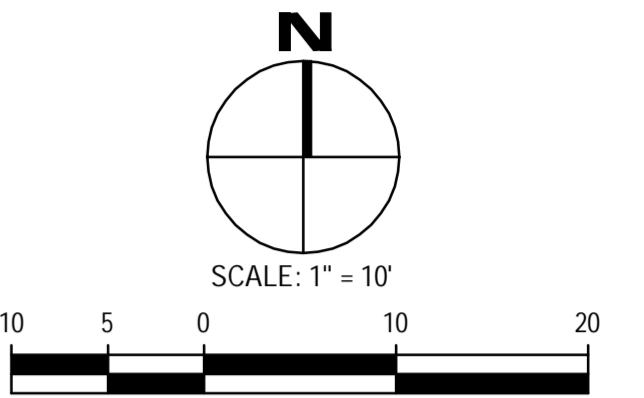
SOIL AMENDMENT REQUIRED

COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS
AFTER CONSTRUCTION. SEE DETAIL ON C3.5.

SOIL CERTIFICATION REQUIRED

A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS
REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL
PERMIT & CERT. OF OCCUPANCY SIGN-OFF BY CITY.

MINIMUM 10% ORGANIC -
COMPOST & MULCH SOIL REQUIRED

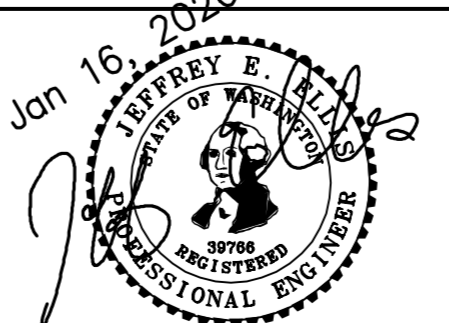


#2508-021

NO.	DATE	BY	REVISIONS

APPLICANT
JASON KOEHLER
RKK CONSTRUCTION
3056 70th AVENUE SE
MERCER ISLAND, WA 98040
206-236-2920

DATE: Jan 16, 2026
JOB# 2117
DRAFTED: DE DESIGN: DE
DIGITAL SIGNATURE



CIVIL ENGINEERING SOLUTIONS
908 NW 51st STREET SEATTLE, WA 98107
206.930.0342 DUFFY@CESOLUTIONS.US

DRAINAGE / CIVIL PLAN
RKK HOUSE
4115 78th AVE SE, MERCER ISLAND, WA 98040

DRAWING NO:
C2.0
APN 362350-0210
2508-021

**MINIMUM 10% ORGANIC -
COMPOST SOIL REQUIRED**

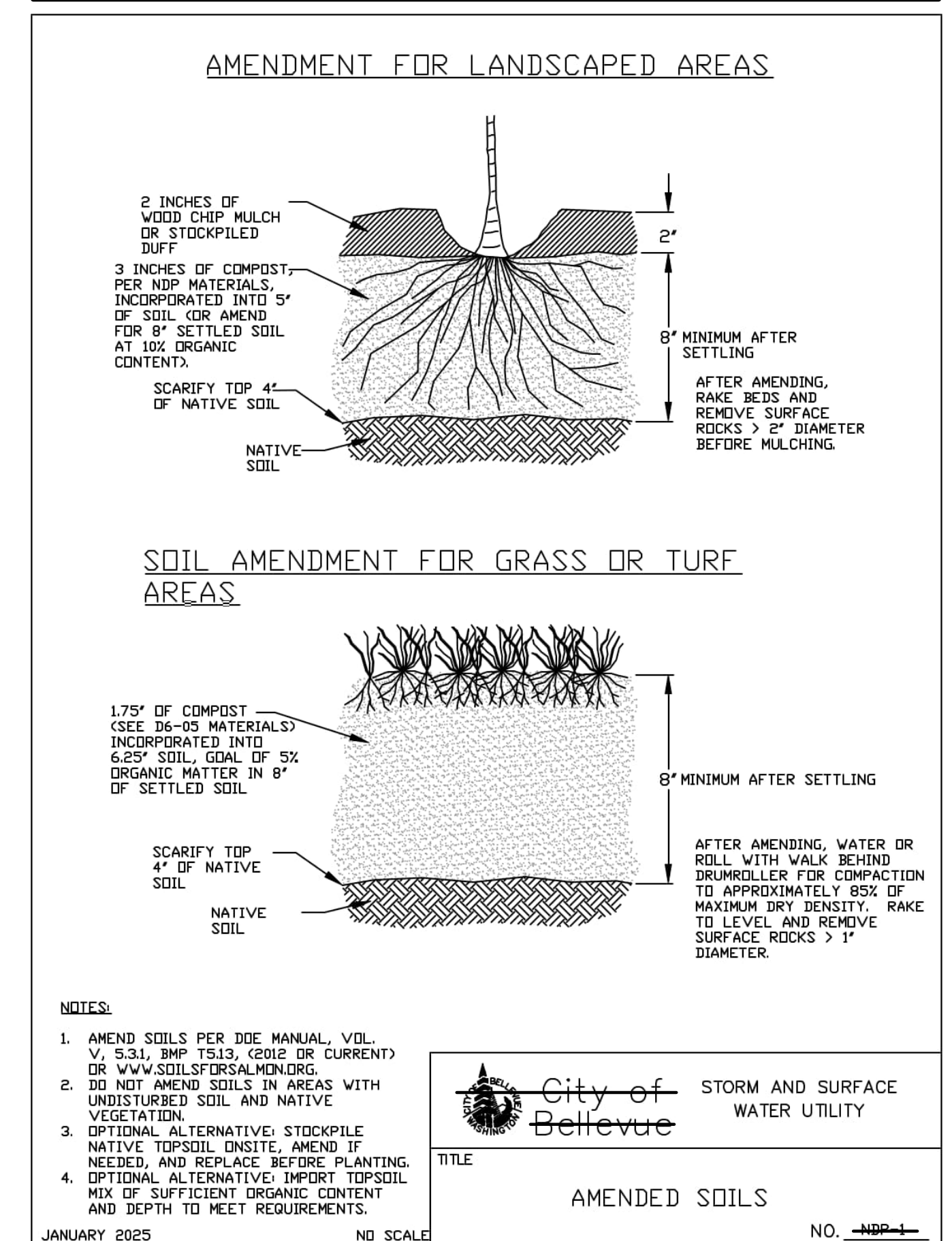
SOIL AMENDMENT REQUIRED

COMPOST AMENDED SOIL REQUIRED ON ALL LANDSCAPED AREAS AFTER CONSTRUCTION. SEE DETAIL BELOW.

SOIL INSPECTION REQUIRED BY ENGINEER

A POST CONSTRUCTION INSPECTION & CERTIFICATION OF AMENDED SOILS IS REQUIRED BY A LICENSED CIVIL ENGINEER. THIS IS REQUIRED BEFORE FINAL SIGN-OFF BY CITY.

COMPOST AMENDED SOIL SPEC

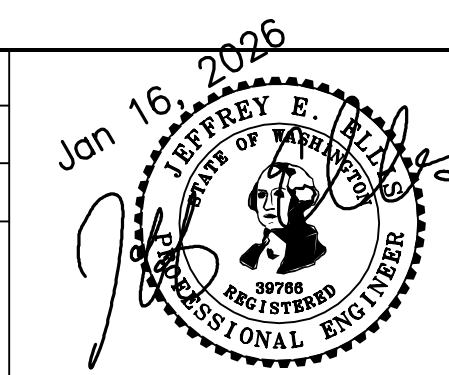


#2508-021

NO.	DATE	BY	REVISIONS

APPLICANT
 JASON KOEHLER
 RKK CONSTRUCTION
 3056 70th AVENUE SE
 MERCER ISLAND, WA 98040
 206-236-2920

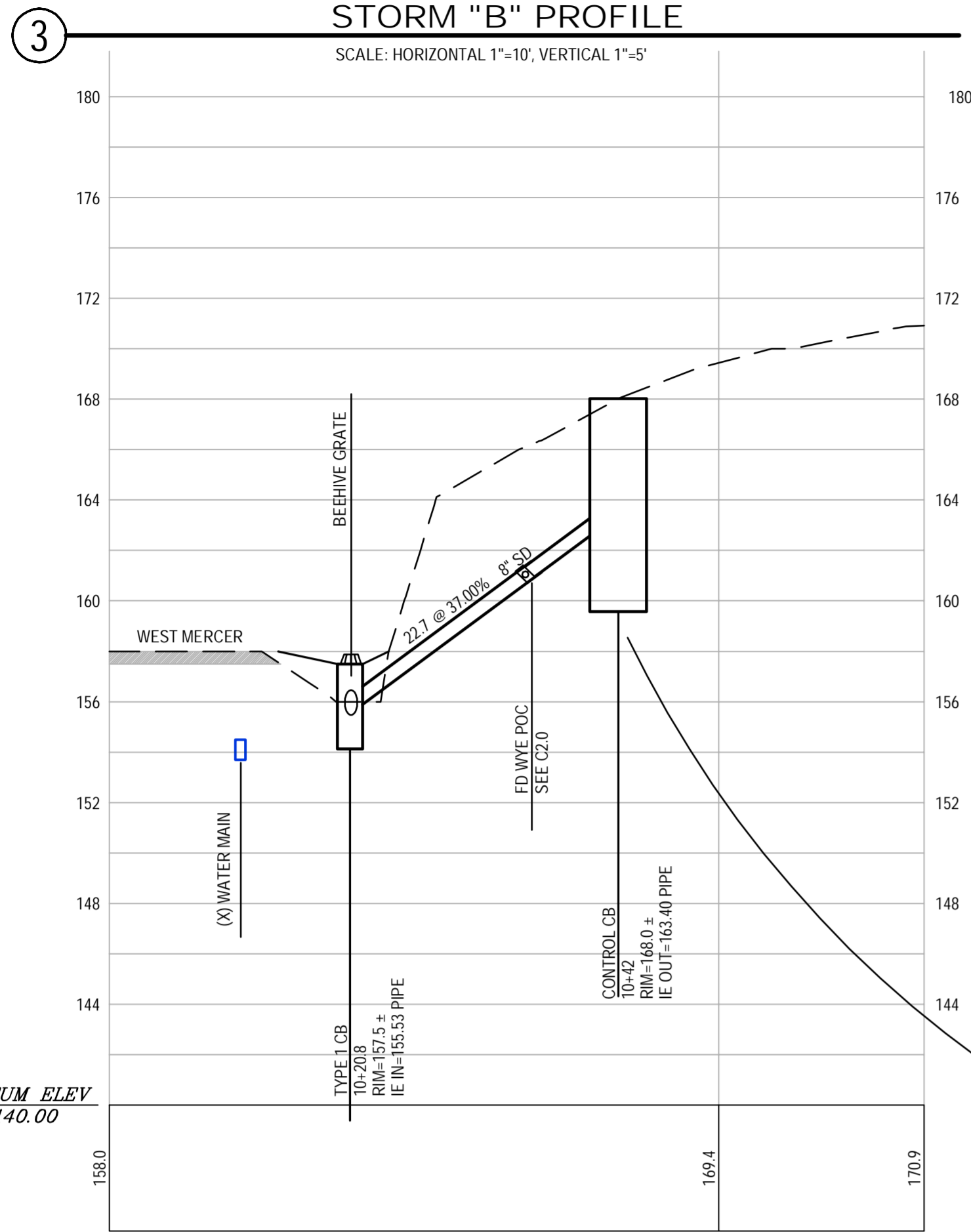
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 DIGITAL SIGNATURE



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 206.930.0342 DUFFY@CESOLUTIONS.WA

STORMWATER BMP DETAILS
 RKK HOUSE
 4115 78th AVE SE, MERCER ISLAND, WA 98040

DRAWING NO:
C3.5
 APN 362350-0210
 2508-021



MERCER ISLAND DETENTION "TABLE 1"

Table 1
ON-SITE DETENTION DESIGN FOR PROJECTS BETWEEN 500 SF AND 9,500 SF NEW PLUS REPLACED IMPERVIOUS SURFACE AREA

New and Replaced Impervious Surface Area (sf)	Detention Pipe Diameter (in)	Detention Pipe Length (ft)		Lowest Orifice Diameter (in) ⁽¹⁾		Distance from Outlet Invert to Second Orifice (ft)		Second Orifice Diameter (in)	
		B soils	C soils	B soils	C soils	B soils	C soils	B soils	C soils
500 to 1,000 sf	36"	30	22	0.5	0.5	2.2	2.0	0.5	0.8
	48"	18	11	0.5	0.5	3.3	3.2	0.9	0.8
1,001 to 2,000 sf	36"	66	43	0.5	0.5	4.2	3.4	0.5	0.6
	48"	34	23	0.5	0.5	3.2	3.3	0.9	1.2
2,001 to 3,000 sf	36"	90	66	0.5	0.5	2.2	2.4	0.9	1.9
	48"	48	36	0.5	0.5	3.1	2.8	0.9	1.5
3,001 to 4,000 sf	36"	120	78	0.5	0.5	2.4	2.2	1.4	1.6
	48"	62	42	0.5	0.5	2.8	2.9	0.8	1.3
4,001 to 5,000 sf	36"	134	91	0.5	0.5	2.8	2.2	1.7	1.5
	48"	73	49	0.5	0.5	3.6	2.9	1.6	1.5
5,001 to 6,000 sf	36"	162	109	0.5	0.5	2.7	2.2	1.8	1.6
	48"	90	59	0.5	0.5	3.5	2.9	1.7	1.5
6,001 to 7,000 sf	36"	192	128	0.5	0.5	2.7	2.2	1.9	1.8
	48"	102	68	0.5	0.5	3.7	2.9	1.9	1.6
7,001 to 8,000 sf	36"	216	146	0.5	0.5	2.8	2.2	2.0	1.9
	48"	119	79	0.5	0.5	3.8	2.9	2.2	1.7
8,001 to 8,500 sf ⁽¹⁾	36"	228	155	0.5	0.5	2.8	2.2	2.1	1.9
	48"	124	84	0.5	0.5	3.7	2.9	1.9	1.8
8,501 to 9,000 sf	36"	NA ⁽¹⁾	164	0.5	0.5	NA ⁽¹⁾	2.2	NA ⁽¹⁾	1.9
	48"	NA ⁽¹⁾	89	0.5	0.5	NA ⁽¹⁾	2.9	NA ⁽¹⁾	1.9
9,001 to 9,500 sf ⁽²⁾	36"	NA ⁽¹⁾	174	0.5	0.5	NA ⁽¹⁾	2.2	NA ⁽¹⁾	2.1
	48"	NA ⁽¹⁾	94	0.5	0.5	NA ⁽¹⁾	2.9	NA ⁽¹⁾	2.0

Notes:

- Minimum Requirement #7 (Flow Control) is required when the 100-year flow frequency causes a 0.15 cubic feet per second increase (when modeled in WWHM with a 15-minute timestep). Breakpoints shown in this table are based on a flat slope (0-5%). The 100-year flow frequency will need to be evaluated on a site-specific basis for projects on moderate (5-15%) or steep (> 15%) slopes.
- Soil type to be determined by geotechnical analysis or soil map.
- Sizing includes a Volume Correction Factor of 120%.
- Upper bound contributing area used for sizing.

Basis of Sizing Assumptions:

Sized per MR#5 in the Stormwater Management Manual for Puget Sound Basin (1992 Ecology Manual)

SBUH, Type 1A, 24-hour hydrograph

2-year, 24-hour storm = 2 in; 10-year, 24-hour storm = 3 in; 100-year, 24-hour storm = 4 in

Predeveloped = second growth forest (CN = 72 for Type B soils, CN = 83 for Type C soils)

Developed = impervious (CN = 98)

0.5 foot of sediment storage in detention pipe

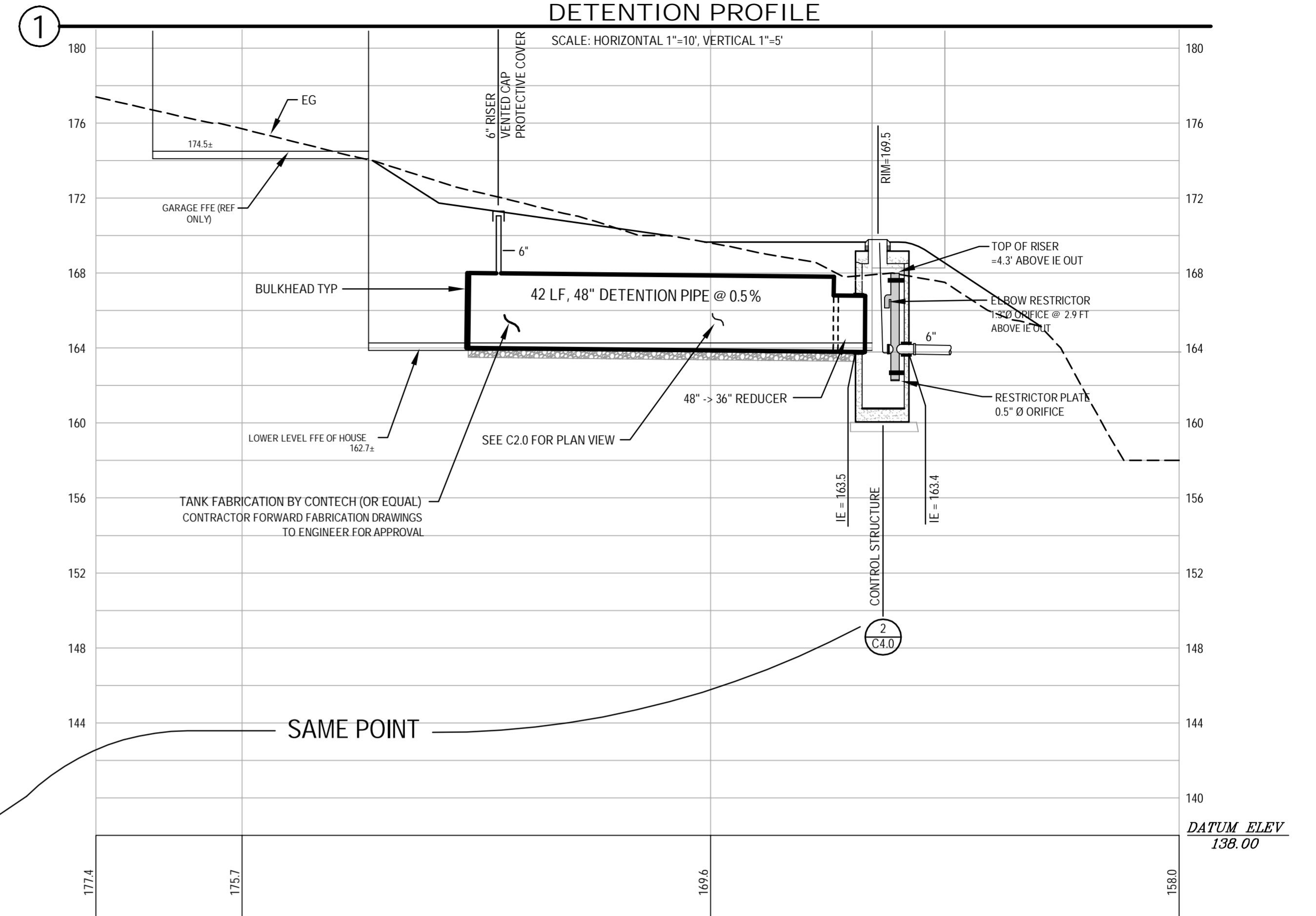
Overland slope = 5%

⁽¹⁾ On Type B soils, new plus replaced impervious surface areas exceeding 8,500 sf trigger Minimum Requirement #7 (Flow Control)

⁽²⁾ On Type C soils, new plus replaced impervious surface areas exceeding 9,500 sf trigger Minimum Requirement #7 (Flow Control)

⁽³⁾ Minimum orifice diameter = 0.5 inches

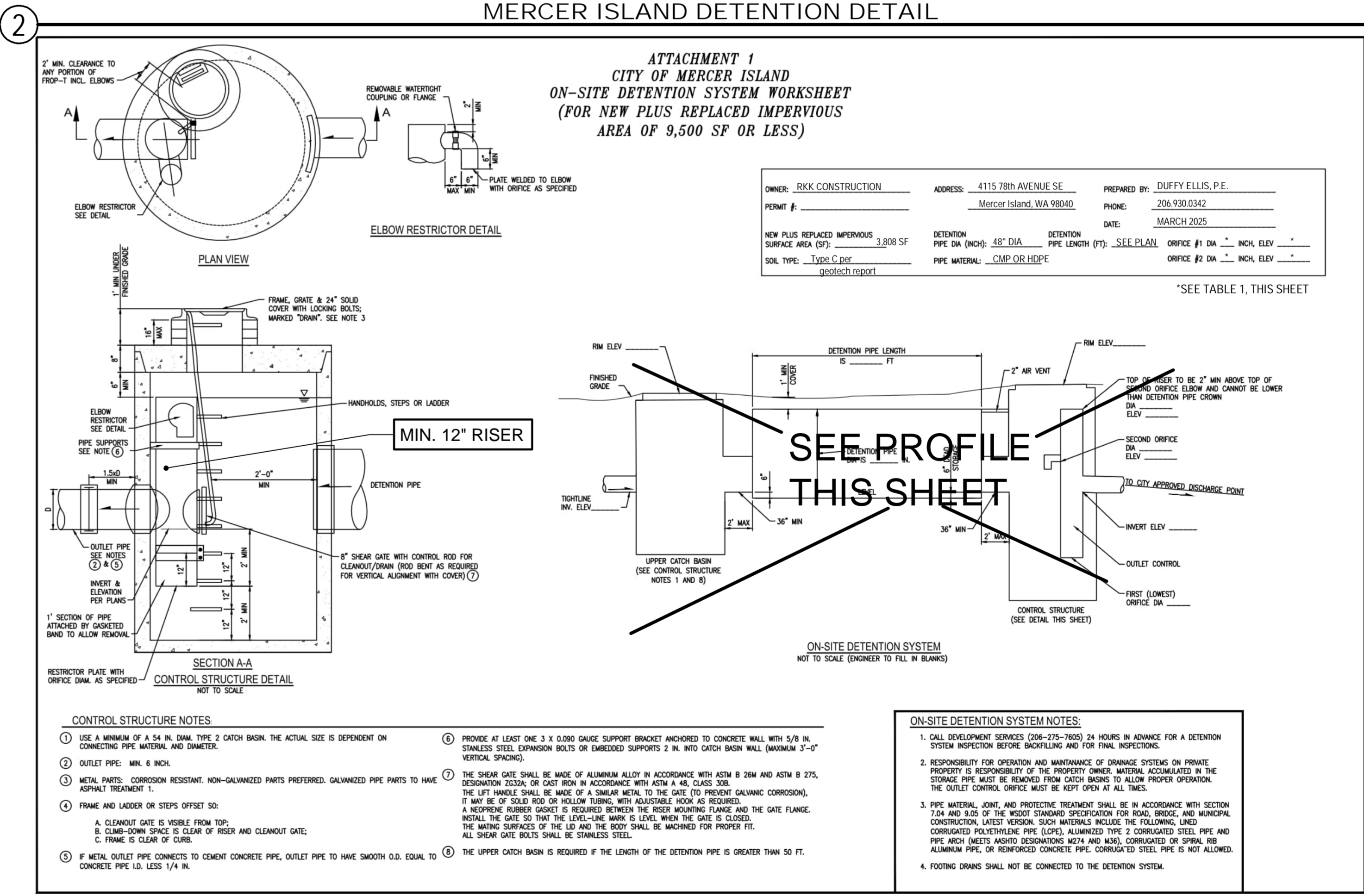
in = inch
ft = feet
sf = square feet

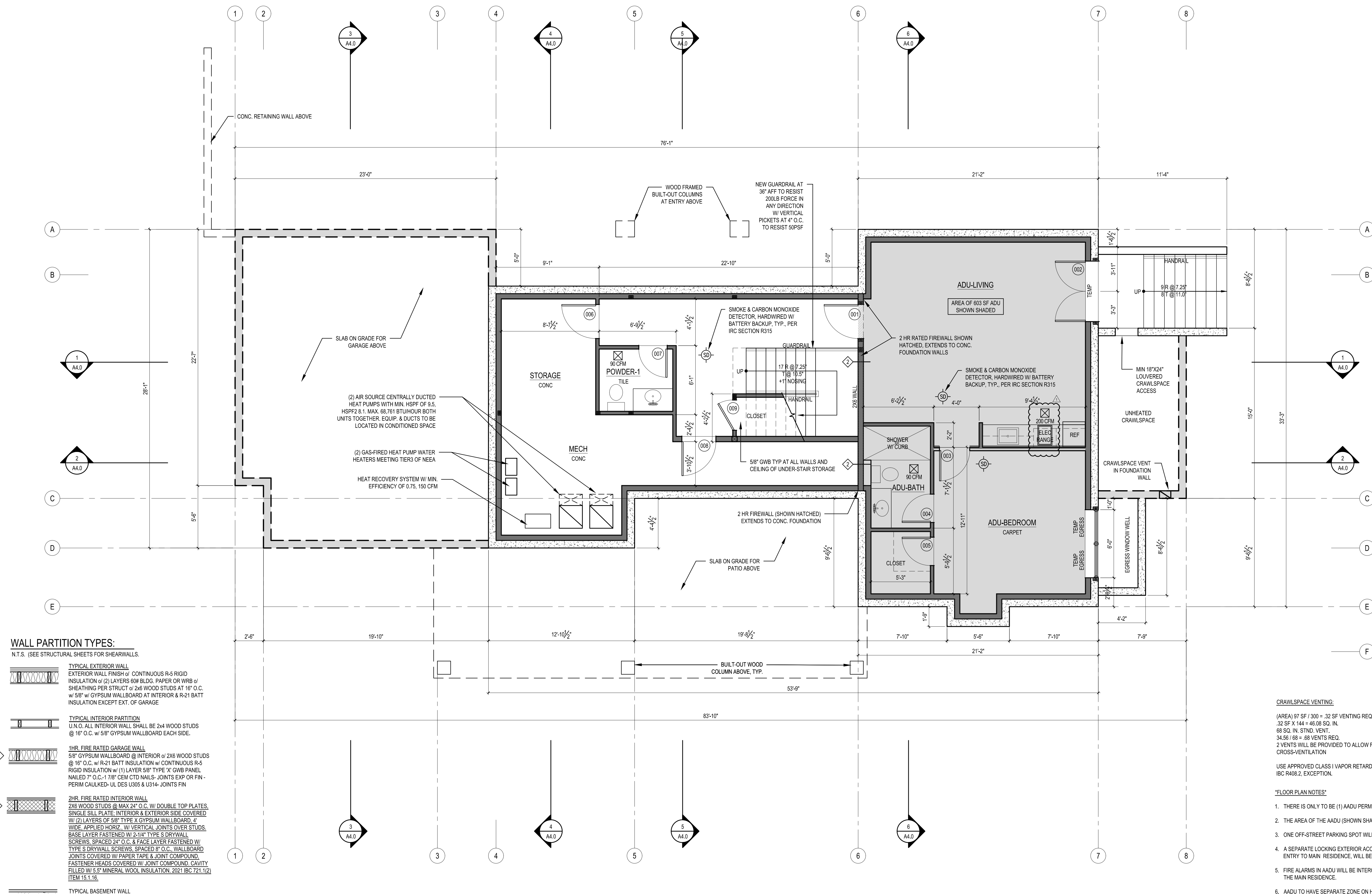


IMPERVIOUS TABLE - STORMWATER

Impervious Area Spreadsheet - Stormwater Version
RKK SFR Project - 4115 78th Avenue SE, Mercer Island, WA 98040

Category	Area (sf)	Area (acres)
Gross Site Area	9,930	0.228
Existing Impervious Area		
roof	0	0
garage	0	0
driveway	0	0
Best of the rest	0	0
total existing	0	0
Proposed Impervious Area		
Roof	3,035	
driveway	433	
front walkway to driveway	109	
front walkway/stairs to street	181	
front trash can area	40	
side yard equipment pads, exposed	9	
total on-site (new + replaced) proposed	3,808	
Result PerVIOUS	6,122	
total on-site new	3,808	
total new + replaced impervious	3,808	
total existing to remain	0	
total proposed lawn/landscape	6,122	



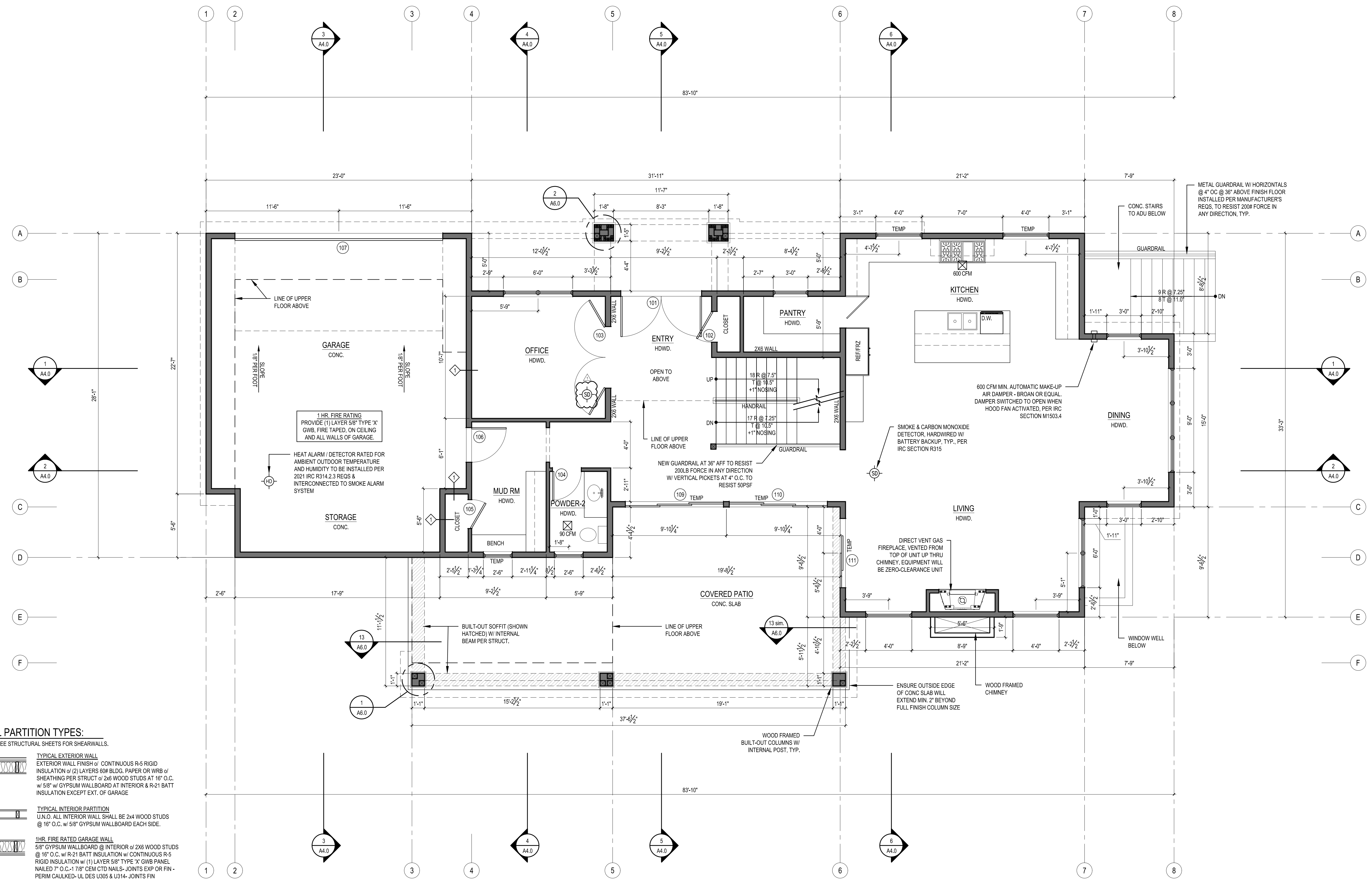


- WALL PARTITION TYPES:**
 N.T.S. (SEE STRUCTURAL SHEETS FOR SHEARWALLS.)
- TYPICAL EXTERIOR WALL**
 EXTERIOR WALL FINISH OF CONTINUOUS R-5 RIGID INSULATION OR (2) LAYERS 60# BLDG. PAPER OR WRB OF SHEATHING PER STRUCT OR 2x6 WOOD STUDS AT 16" O.C. w/ 5/8" w/ GYPSUM WALLBOARD AT INTERIOR & R-21 BATT INSULATION EXCEPT EXT. OF GARAGE.
 - TYPICAL INTERIOR PARTITION**
 U.N.O. ALL INTERIOR WALL SHALL BE 2x4 WOOD STUDS @ 16" O.C. w/ 5/8" GYPSUM WALLBOARD EACH SIDE.
 - 1HR. FIRE RATED GARAGE WALL**
 5/8" GYPSUM WALLBOARD @ INTERIOR OF 2x6 WOOD STUDS @ 16" O.C. w/ R-21 BATT INSULATION w/ CONTINUOUS R-5 RIGID INSULATION w/ (1) LAYER 5/8" TYPE X GIB PANEL NAILED 7" O.C. 1-7/8" CEM CTD NAILS- JOINTS EXP OR FIN-PERM CAULKED- UL DES U305 & U314- JOINTS FIN
 - 2HR. FIRE RATED INTERIOR WALL**
 2x6 WOOD STUDS @ MAX 24" O.C. w/ DOUBLE TOP PLATES, SINGLE SILL PLATE, INTERIOR & EXTERIOR SIDE COVERED w/ (2) LAYERS OF 5/8" TYPE X GYPSUM WALLBOARD, 4" WIDE, APPLIED HORIZ. w/ VERTICAL JOINTS OVER STUDS. BASE LAYER FASTENED w/ 2-1/4" TYPE S DRYWALL SCREWS, SPACED 24" O.C. & FACE LAYER FASTENED w/ TYPE S DRYWALL SCREWS, SPACED 8" O.C. WALLBOARD JOINTS COVERED w/ PAPER TAPE & JOINT COMPOUND. FASTENER HEADS COVERED w/ JOINT COMPOUND. CAVITY FILLED w/ 5.5" MINERAL WOOL INSULATION, 2021 IBC 721.1(2) ITEM 15.1.16.
 - TYPICAL BASEMENT WALL**
 DRAINAGE MAT OR WATERPROOFING ON CONC. WALL w/ 2x4 P.T. WOOD STUDS SPACED 2" OFF CONC. WALL @ 16" O.C. w/ 1/2" GYPSUM WALLBOARD AT INTERIOR. PROVIDE R-21 BATT INSULATION.

1 LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- CRAWLSPACE VENTING:**
 (AREA) 97 SF / 300 = .32 SF VENTING REQ'D.
 .32 SF X 144 = 46.08 SQ. IN.
 68 SQ. IN. STND. VENT.
 34.56 / 68 = .51 VENTS REQ.
 2 VENTS WILL BE PROVIDED TO ALLOW FOR CROSS-VENTILATION
- USE APPROVED CLASS I VAPOR RETARDER PER IBC R408.2, EXCEPTION.**
- *FLOOR PLAN NOTES***
1. THERE IS ONLY TO BE (1) AADU PERMITTED.
 2. THE AREA OF THE AADU (SHOWN SHADED) = 603 SF.
 3. ONE OFF-STREET PARKING SPOT WILL BE ALLOTTED FOR AADU USE.
 4. A SEPARATE LOCKING EXTERIOR ACCESS TO AADU, SEPARATE FROM ENTRY TO MAIN RESIDENCE, WILL BE PROVIDED.
 5. FIRE ALARMS IN AADU WILL BE INTERCONNECTED WITH THOSE OF THE MAIN RESIDENCE.
 6. AADU TO HAVE SEPARATE ZONE ON HVAC, WITH INDEPENDENT CONTROL OVER ITS OPERATION IN ITS ZONE.
 7. PROVIDE A PROGRAMMABLE THERMOSTATE FOR THE HVAC SYSTEM WITHIN EACH DWELLING UNIT.

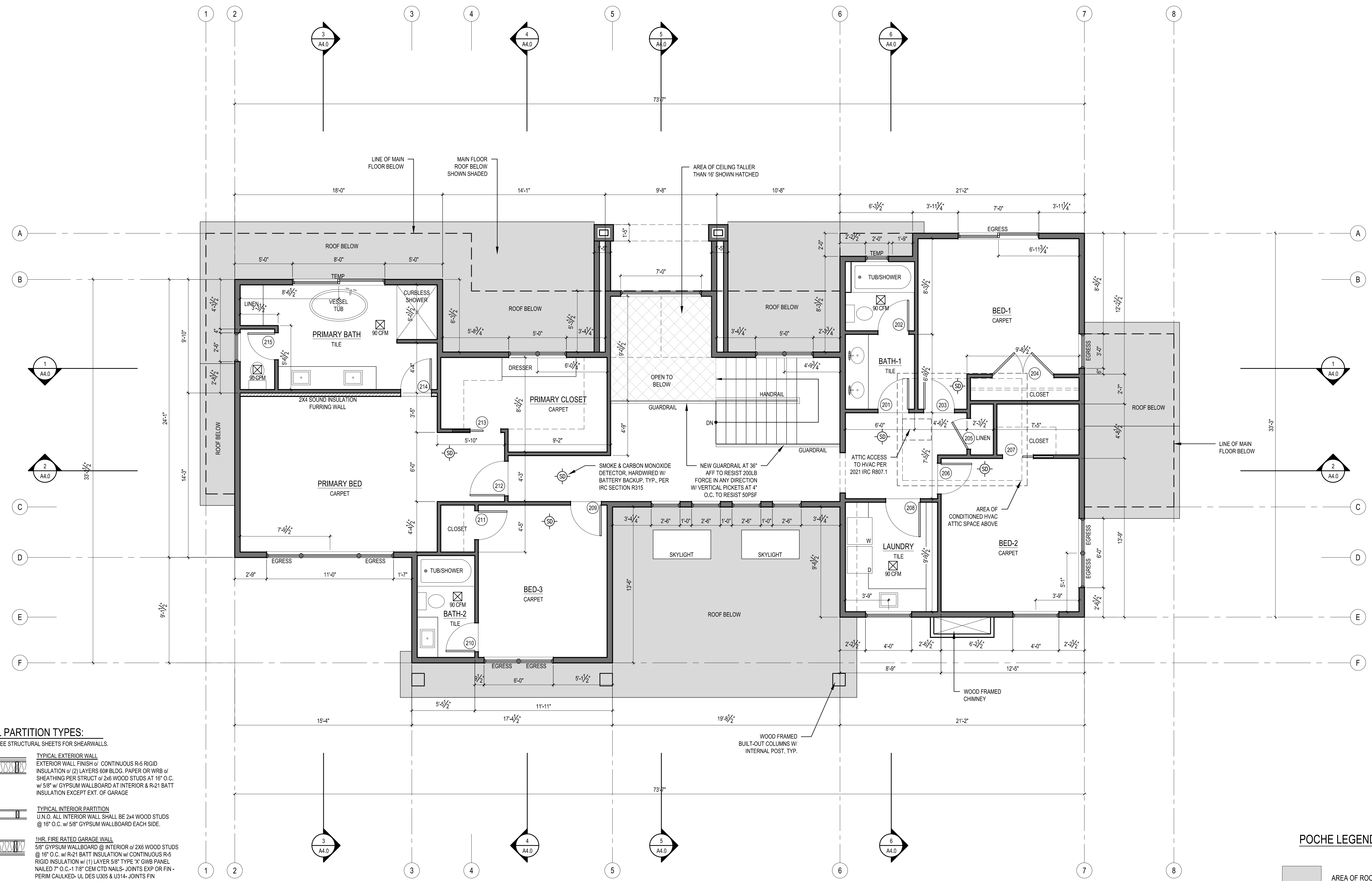
SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
 PERMIT SET 01/20/2026



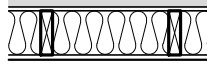
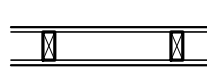
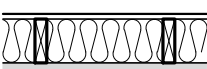
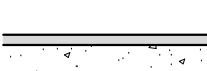
- WALL PARTITION TYPES:**
 N.T.S. (SEE STRUCTURAL SHEETS FOR SHEARWALLS.)
- TYPICAL EXTERIOR WALL**
 EXTERIOR WALL FINISH OF CONTINUOUS R-5 RIGID INSULATION OF (2) LAYERS 5/8" TYPE 'X' GWB, FIRE TAPED, ON CEILING AND ALL WALLS OF GARAGE.
 - TYPICAL INTERIOR PARTITION**
 U.N.O. ALL INTERIOR WALL SHALL BE 2x4 WOOD STUDS @ 16" O.C. w/ 5/8" GYPSUM WALLBOARD EACH SIDE.
 - 1HR. FIRE RATED GARAGE WALL**
 5/8" GYPSUM WALLBOARD @ INTERIOR OF 2x6 WOOD STUDS @ 16" O.C. w/ R-21 BATT INSULATION w/ CONTINUOUS R-5 RIGID INSULATION w/ (1) LAYER 5/8" TYPE 'X' GWB PANEL NAILED 7" O.C.-1.78" CEM CTD NAILS- JOINTS EXP OR FIN - PERIM CAULKED- UL DES U305 & U314- JOINTS FIN
 - TYPICAL BASEMENT WALL**
 DRAINAGE MAT OF WATERPROOFING ON CONC. WALL W/ 2x4 P.T. WOOD STUDS SPACED 2' OFF CONC. WALL @ 16" O.C. w/ 1/2" GYPSUM WALLBOARD AT INTERIOR. PROVIDE R-21 BATT INSULATION.

1 MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"



SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
 PERMIT SET 01/20/2026



WALL PARTITION TYPES:
 N.T.S. (SEE STRUCTURAL SHEETS FOR SHEARWALLS.)

-  **TYPICAL EXTERIOR WALL**
 EXTERIOR WALL FINISH OF CONTINUOUS R-5 RIGID INSULATION OF (2) LAYERS 5/8" BLDG. PAPER OR WRB OF SHEATHING PER STRUCT OF 2x6 WOOD STUDS AT 16" O.C. w/ 5/8" w/ GYPSUM WALLBOARD AT INTERIOR & R-21 BATT INSULATION EXCEPT EXT. OF GARAGE
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 5/8" GYPSUM WALLBOARD @ INTERIOR OF 2x6 WOOD STUDS @ 16" O.C. w/ R-21 BATT INSULATION w/ CONTINUOUS R-5 RIGID INSULATION w/ (1) LAYER 5/8" TYPE 'X' GIBB PANEL NAILED 7" O.C.-1.78" CEM CTD NAILS- JOINTS EXP OR FIN- PERIM CAULKED- UL DES U305 & U314- JOINTS FIN
-  **TYPICAL BASEMENT WALL**
 DRAINAGE MAT OF WATERPROOFING ON CONC. WALL W/ 2x4 P.T. WOOD STUDS SPACED 2' OFF CONC. WALL @ 16" O.C. w/ 1/2" GYPSUM WALLBOARD AT INTERIOR. PROVIDE R-21 BATT INSULATION.

POCHE LEGEND:

-  AREA OF ROOF BELOW
-  AREA OF CEILING TALLER THAN 16"

1 UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36" IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
 PERMIT SET 01/20/2026

ROOF VENT CALCULATIONS															
CODE REQUIREMENT	DESCRIPTION	SF AREA	REQ. VENTING		VENT TYPE		X	VENT L.F.	=	TOTAL VENT AREA	X	SF CONVERT.	X	ACTUAL	
			150	300	RIDGE	SOFFIT								90% EFF FACTOR	TOTAL
ROOF A		1,809	12.06		18 SQ. IN./FT.	SOFFIT		160		3840		26.67		21.33	28.39
					12 SQ. IN./FT.	CONTINUOUS		105.92		1271.04		8.83		7.06	
					18 SQ. IN./FT.	CONTINUOUS		57.17		1029.06		7.15		5.72	5.72
ROOF B		343	2.29		12 SQ. IN./FT.	SOFFIT				0		0.00		0.00	
					12 SQ. IN./FT.	CONTINUOUS				0		0.00		0.00	
					18 SQ. IN./FT.	CONTINUOUS		67		1206		8.38		6.70	6.87
ROOF C		263	1.75		12 SQ. IN./FT.	SOFFIT		2.5		30		0.21		0.17	
					12 SQ. IN./FT.	CONTINUOUS		25.42		457.56		3.18		2.54	2.54
					18 SQ. IN./FT.	CONTINUOUS		22		396		2.75		2.20	2.93
ROOF D		112	0.75		12 SQ. IN./FT.	SOFFIT		11		132		0.92		0.73	
					12 SQ. IN./FT.	CONTINUOUS		15.5		279		1.94		1.55	2.08
					18 SQ. IN./FT.	CONTINUOUS		8		96		0.67		0.53	
ROOF E		130	0.87		12 SQ. IN./FT.	SOFFIT									
					12 SQ. IN./FT.	CONTINUOUS									
					18 SQ. IN./FT.	CONTINUOUS									
ROOF F		116	0.77		12 SQ. IN./FT.	SOFFIT									
					12 SQ. IN./FT.	CONTINUOUS									
					18 SQ. IN./FT.	CONTINUOUS									



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
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RKK SPEC HOUSE PERMIT SET
4115 78TH AVE SE
MERCER ISLAND, WA 98040

ROOF PLAN

REVISIONS:
2026-01-20 Corrections #1

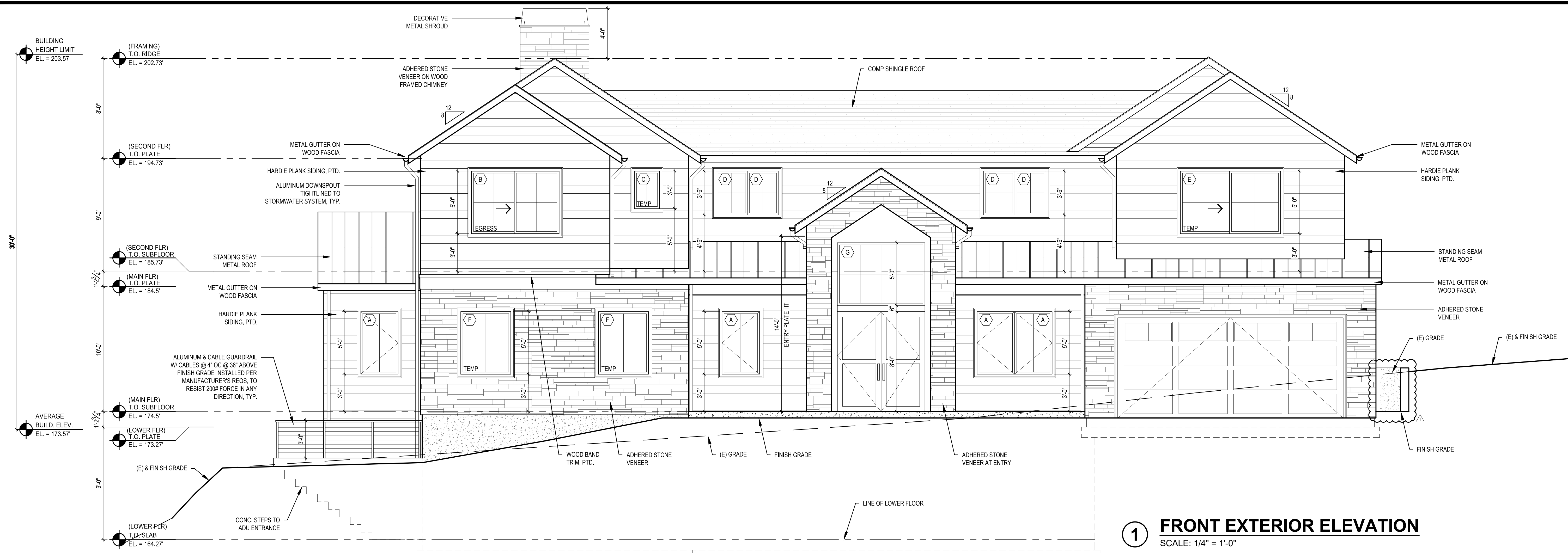
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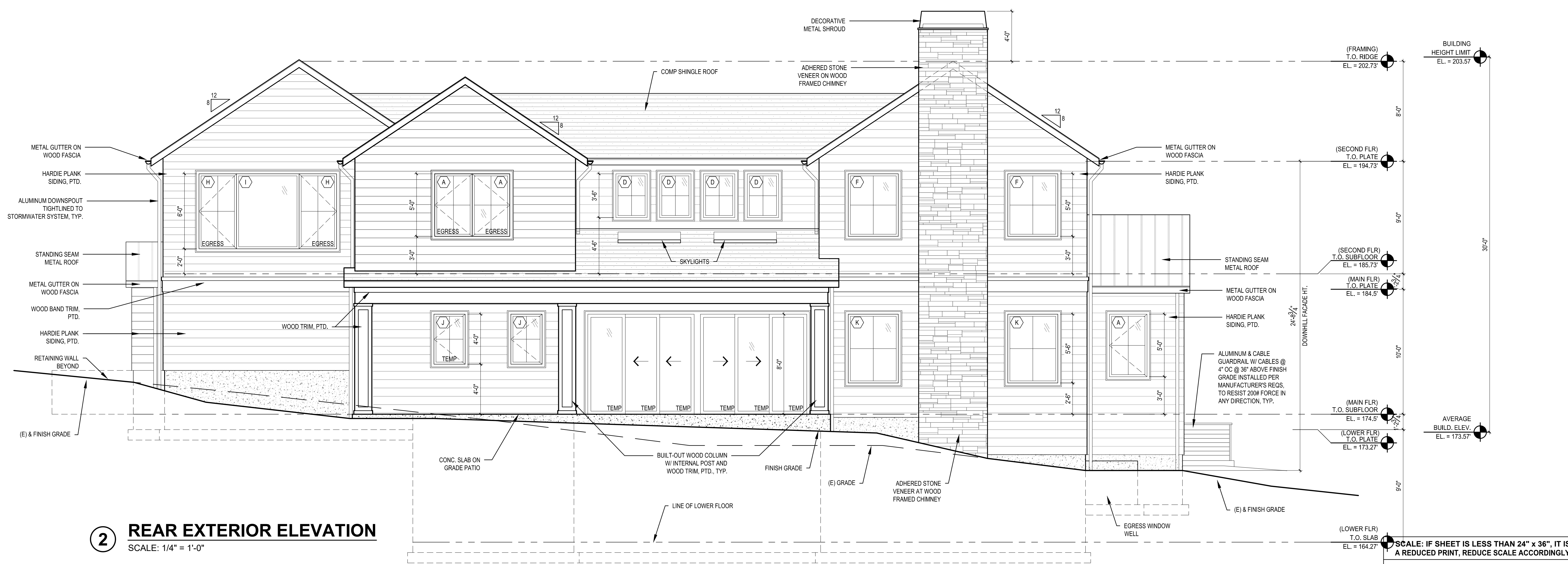
CHECKED BY: BJS

SHEET

A2.3



1 FRONT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 REAR EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

STURMAN ARCHITECTS

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RKK SPEC HOUSE PERMIT SET
4115 78TH AVE SE
MERCER ISLAND, WA 98040

EXTERIOR ELEVATIONS

REVISIONS:
2026-01-20 Corrections #1

PLOT DATE: 1/20/2026

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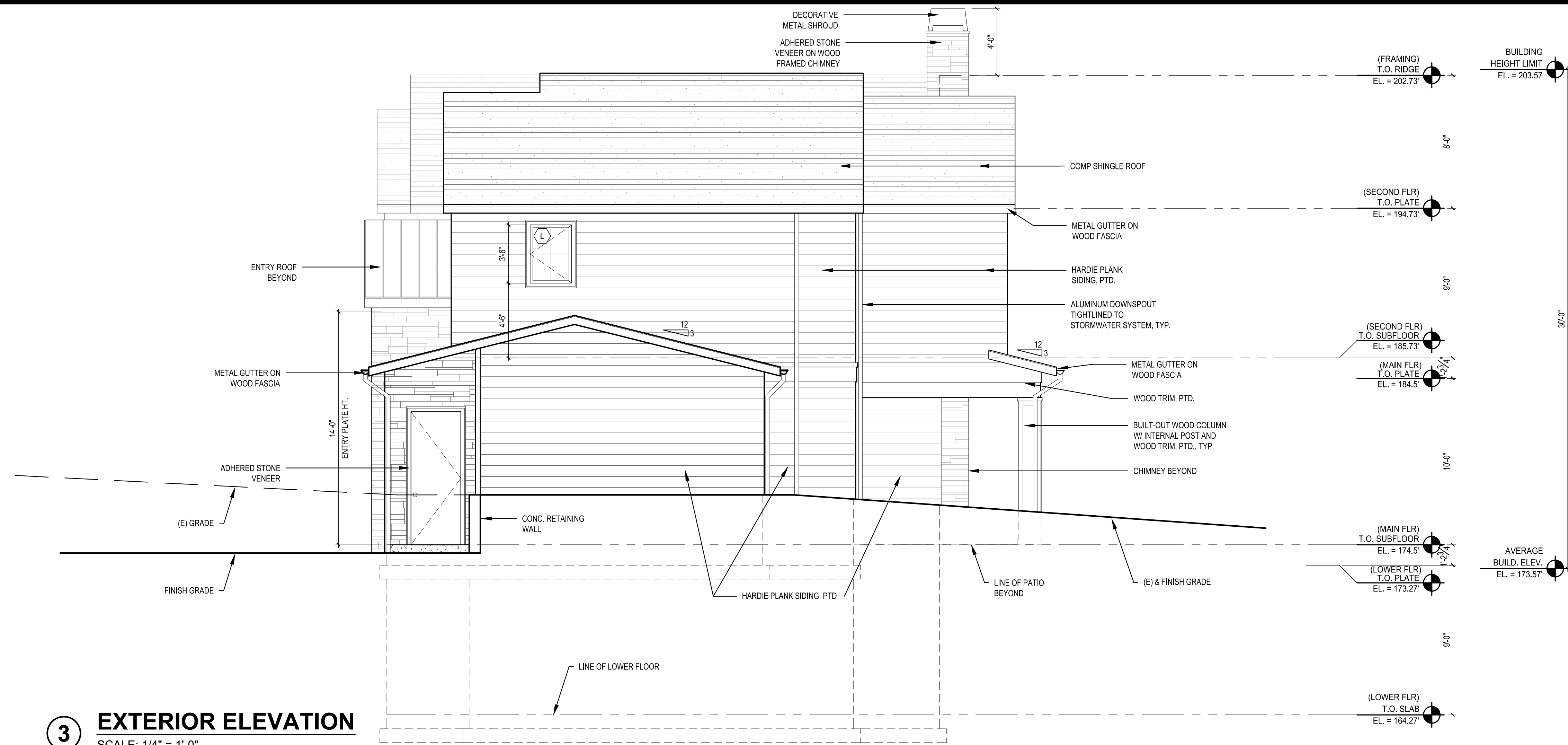
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SHEET

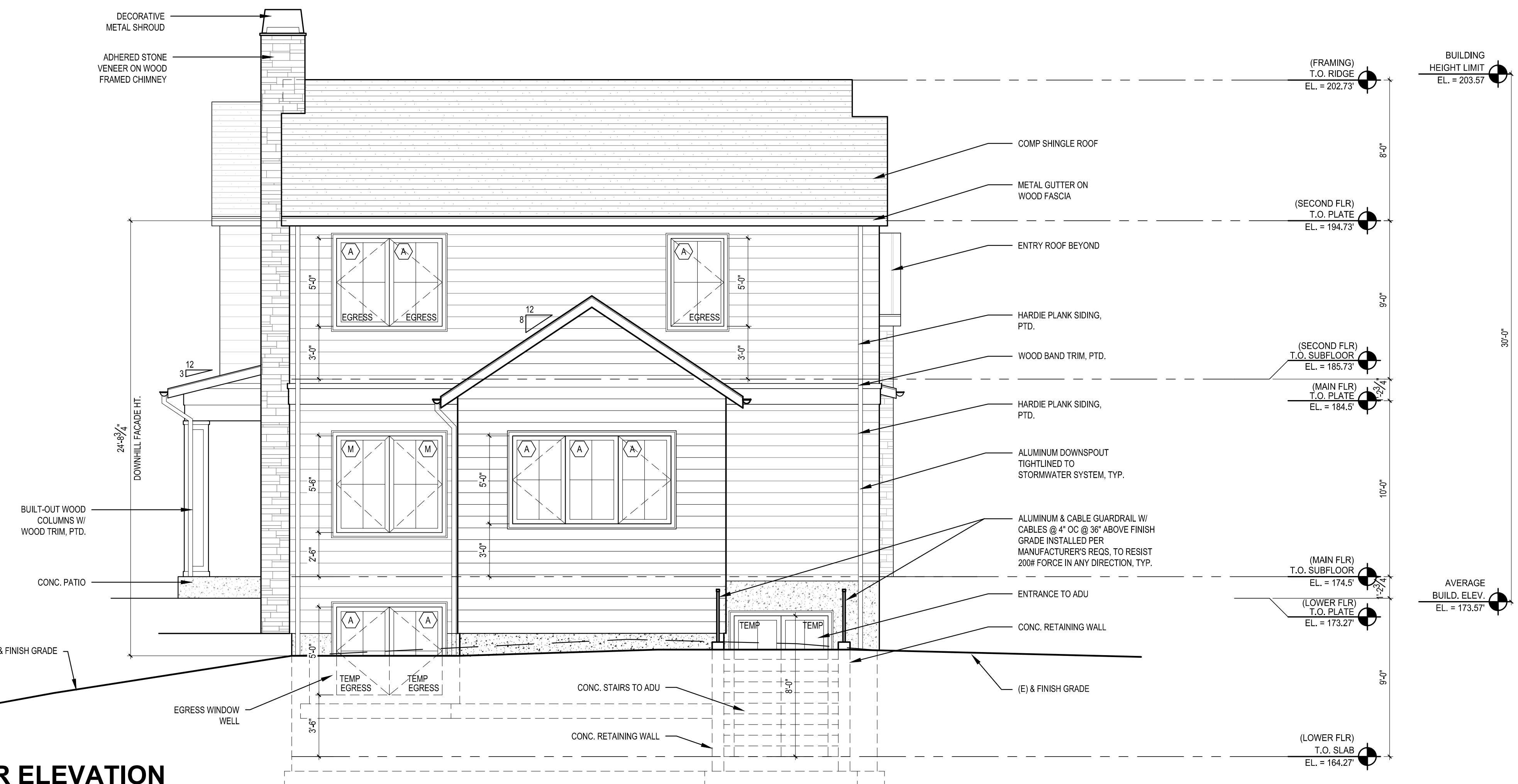
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3 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS:	DATE	DESCRIPTION
1	2026-01-20	Corrections #1
2		
3		
4		
5		

PLOT DATE: 1/20/2026

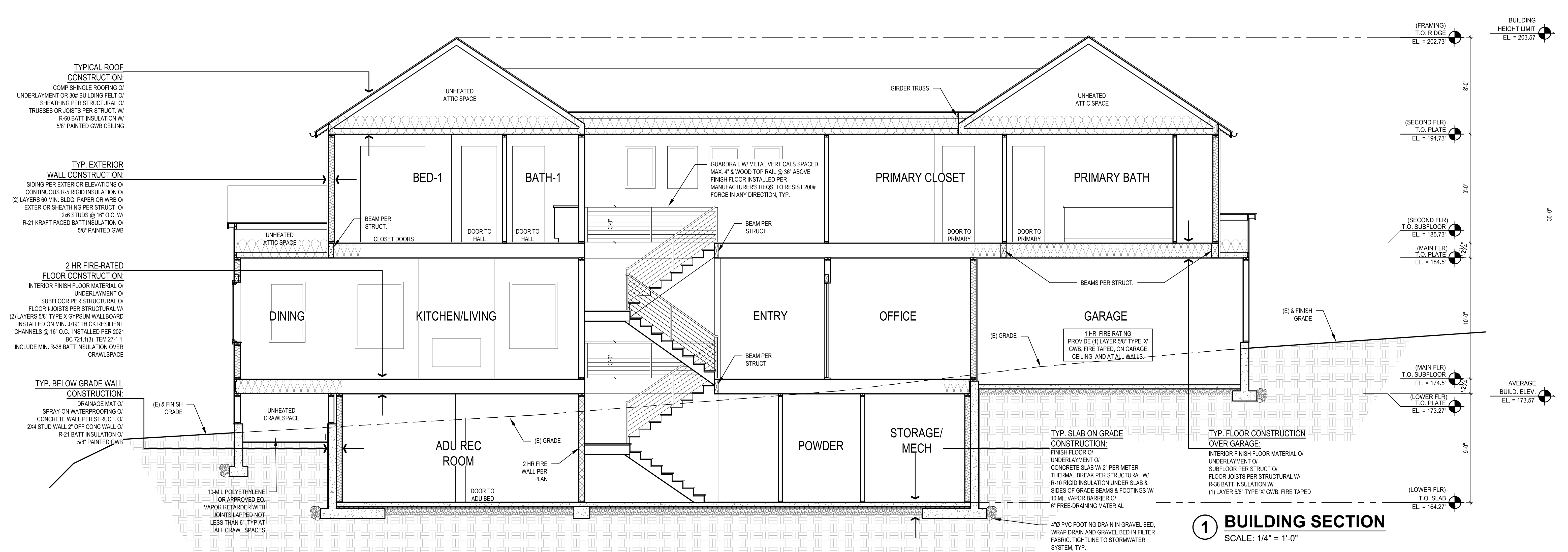
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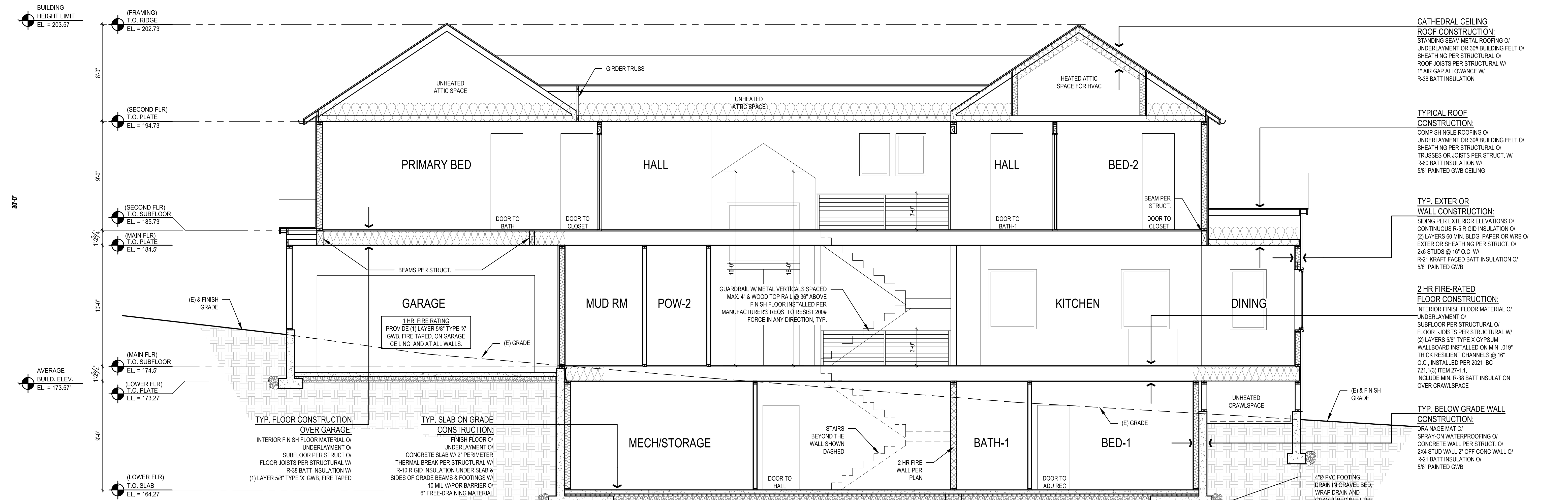
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A3.1

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PERMIT SET 01/20/2026



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

TYPICAL ROOF CONSTRUCTION:
COMP SHINGLE ROOFING O/
UNDERLAYMENT OR 30# BUILDING FELT O/
SHEATHING PER STRUCTURAL O/
TRUSSES OR JOISTS PER STRUCT. W/
R-60 BATT INSULATION W/
5/8" PAINTED GWB CEILING

TYP. EXTERIOR WALL CONSTRUCTION:
SIDING PER EXTERIOR ELEVATIONS O/
CONTINUOUS R-5 RIGID INSULATION O/
(2) LAYERS 60 MIN. BLDG. PAPER OR WRB O/
EXTERIOR SHEATHING PER STRUCT. O/
2x6 STUDS @ 16" O.C. W/
R-21 KRAFT FACED BATT INSULATION O/
5/8" PAINTED GWB

2 HR FIRE-RATED FLOOR CONSTRUCTION:
INTERIOR FINISH FLOOR MATERIAL O/
UNDERLAYMENT O/
SUBFLOOR PER STRUCTURAL O/
FLOOR JOISTS PER STRUCTURAL W/
(2) LAYERS 5/8" TYPE X GYPSUM WALLBOARD
INSTALLED ON MIN. .019" THICK RESILIENT
CHANNELS @ 16" O.C., INSTALLED PER 2021
IBC 721.1(3) ITEM 27-1.1.
INCLUDE MIN. R-38 BATT INSULATION OVER
CRAWLSPACE

TYP. BELOW GRADE WALL CONSTRUCTION:
DRAINAGE MAT O/
SPRAY-ON WATERPROOFING O/
CONCRETE WALL PER STRUCT. O/
2x4 STUD WALL 2" OFF CONC WALL O/
R-21 BATT INSULATION O/
5/8" PAINTED GWB

(FRAMING) T.O. RIDGE EL. = 202.73'

BUILDING HEIGHT LIMIT EL. = 203.57'

(SECOND FLR) T.O. PLATE EL. = 194.73'

(SECOND FLR) T.O. SUBFLOOR EL. = 185.73'

(MAIN FLR) T.O. PLATE EL. = 184.5'

(MAIN FLR) T.O. SUBFLOOR EL. = 174.5'

(LOWER FLR) T.O. PLATE EL. = 173.27'

(LOWER FLR) T.O. SLAB EL. = 164.27'

AVERAGE BUILD. ELEV. EL. = 173.57'

BUILDING HEIGHT LIMIT EL. = 203.57'

(FRAMING) T.O. RIDGE EL. = 202.73'

(SECOND FLR) T.O. PLATE EL. = 194.73'

(SECOND FLR) T.O. SUBFLOOR EL. = 185.73'

(MAIN FLR) T.O. PLATE EL. = 184.5'

(MAIN FLR) T.O. SUBFLOOR EL. = 174.5'

(LOWER FLR) T.O. PLATE EL. = 173.27'

(LOWER FLR) T.O. SLAB EL. = 164.27'

AVERAGE BUILD. ELEV. EL. = 173.57'

CATHEDRAL CEILING ROOF CONSTRUCTION:
STANDING SEAM METAL ROOFING O/
UNDERLAYMENT OR 30# BUILDING FELT O/
SHEATHING PER STRUCTURAL O/
TRUSSES OR JOISTS PER STRUCT. W/
1" AIR GAP ALLOWANCE W/
R-38 BATT INSULATION

TYPICAL ROOF CONSTRUCTION:
COMP SHINGLE ROOFING O/
UNDERLAYMENT OR 30# BUILDING FELT O/
SHEATHING PER STRUCTURAL O/
TRUSSES OR JOISTS PER STRUCT. W/
R-60 BATT INSULATION W/
5/8" PAINTED GWB CEILING

TYP. EXTERIOR WALL CONSTRUCTION:
SIDING PER EXTERIOR ELEVATIONS O/
CONTINUOUS R-5 RIGID INSULATION O/
(2) LAYERS 60 MIN. BLDG. PAPER OR WRB O/
EXTERIOR SHEATHING PER STRUCT. O/
2x6 STUDS @ 16" O.C. W/
R-21 KRAFT FACED BATT INSULATION O/
5/8" PAINTED GWB

2 HR FIRE-RATED FLOOR CONSTRUCTION:
INTERIOR FINISH FLOOR MATERIAL O/
UNDERLAYMENT O/
SUBFLOOR PER STRUCTURAL O/
FLOOR JOISTS PER STRUCTURAL W/
(2) LAYERS 5/8" TYPE X GYPSUM
WALLBOARD INSTALLED ON MIN. .019"
THICK RESILIENT CHANNELS @ 16"
O.C., INSTALLED PER 2021 IBC
721.1(3) ITEM 27-1.1.
INCLUDE MIN. R-38 BATT INSULATION
OVER CRAWLSPACE

TYP. BELOW GRADE WALL CONSTRUCTION:
DRAINAGE MAT O/
SPRAY-ON WATERPROOFING O/
CONCRETE WALL PER STRUCT. O/
2x4 STUD WALL 2" OFF CONC WALL O/
R-21 BATT INSULATION O/
5/8" PAINTED GWB

TYP. FLOOR CONSTRUCTION OVER GARAGE:
INTERIOR FINISH FLOOR MATERIAL O/
UNDERLAYMENT O/
SUBFLOOR PER STRUCTURAL O/
FLOOR JOISTS PER STRUCTURAL W/
R-38 BATT INSULATION W/
(1) LAYER 5/8" TYPE X GWB, FIRE TAPED

TYP. SLAB ON GRADE CONSTRUCTION:
FINISH FLOOR O/
UNDERLAYMENT O/
CONCRETE SLAB W/ 2" PERIMETER
THERMAL BREAK PER STRUCTURAL W/
R-10 RIGID INSULATION UNDER SLAB &
SIDES OF GRADE BEAMS & FOOTINGS W/
10 MIL VAPOR BARRIER O/
6" FREE-DRAINING MATERIAL

4" PVC FOOTING DRAIN IN GRAVEL BED, WRAP DRAIN AND GRAVEL BED IN FILTER FABRIC, TIGHTLINE TO STORMWATER SYSTEM, TYP.

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PERMIT SET 01/20/2026

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RKK SPEC HOUSE PERMIT SET
4115 78TH AVE SE
MERCER ISLAND, WA 98040

BUILDING SECTIONS

REVISIONS:
2026-01-20 Corrections #1

PLOT DATE: 1/20/2026

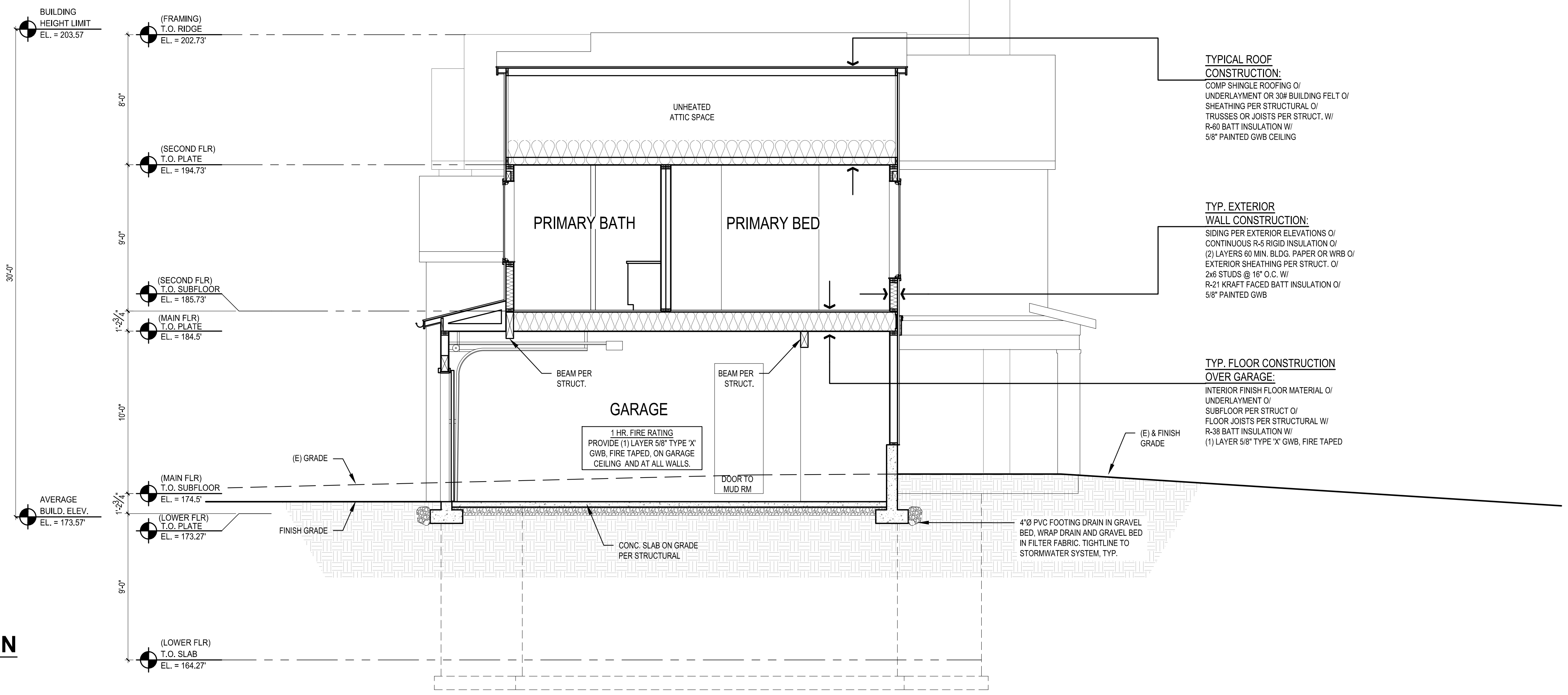
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CHECKED BY: BJS

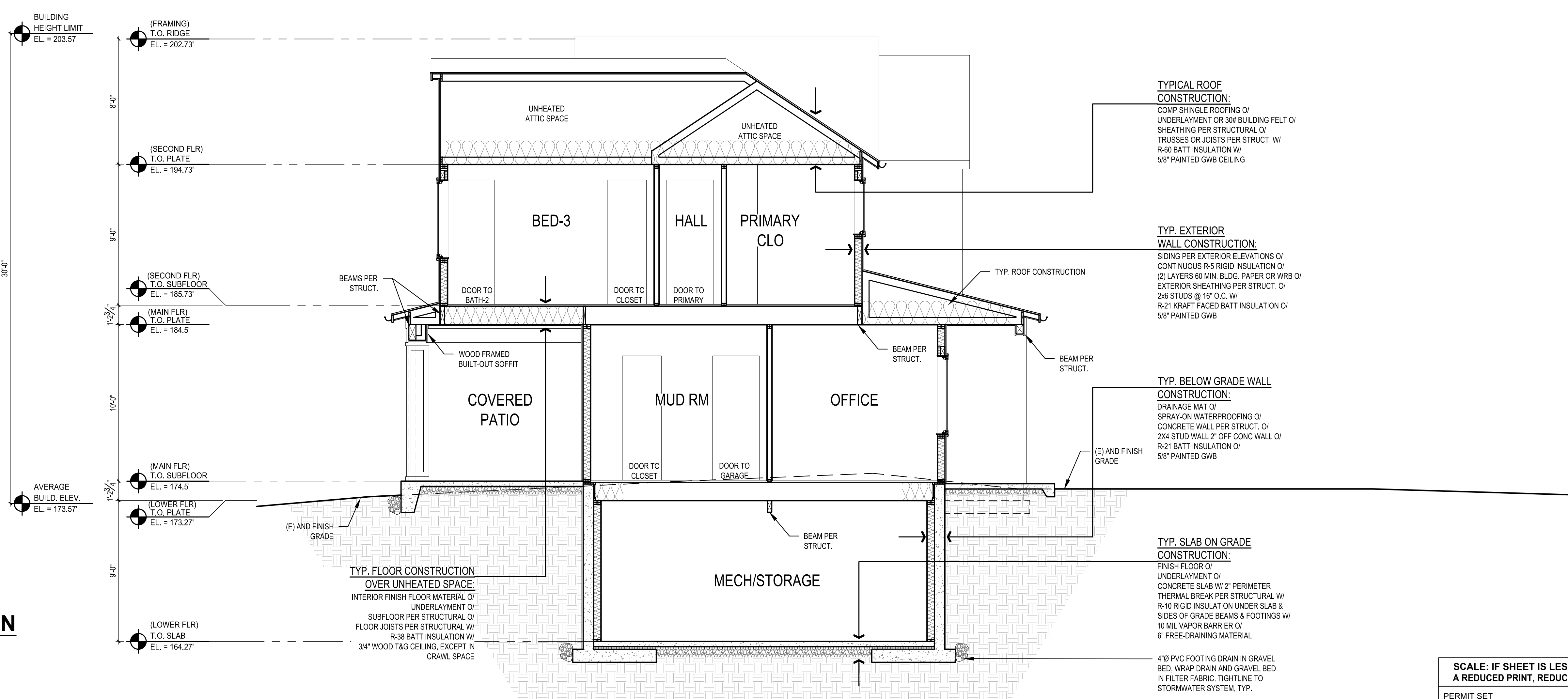
SHEET **A4.0**

REVISIONS:	
2026-01-20	Corrections #1
1/20/2026	
DRAWN BY:	KE
CHECKED BY:	BJS
SHEET	

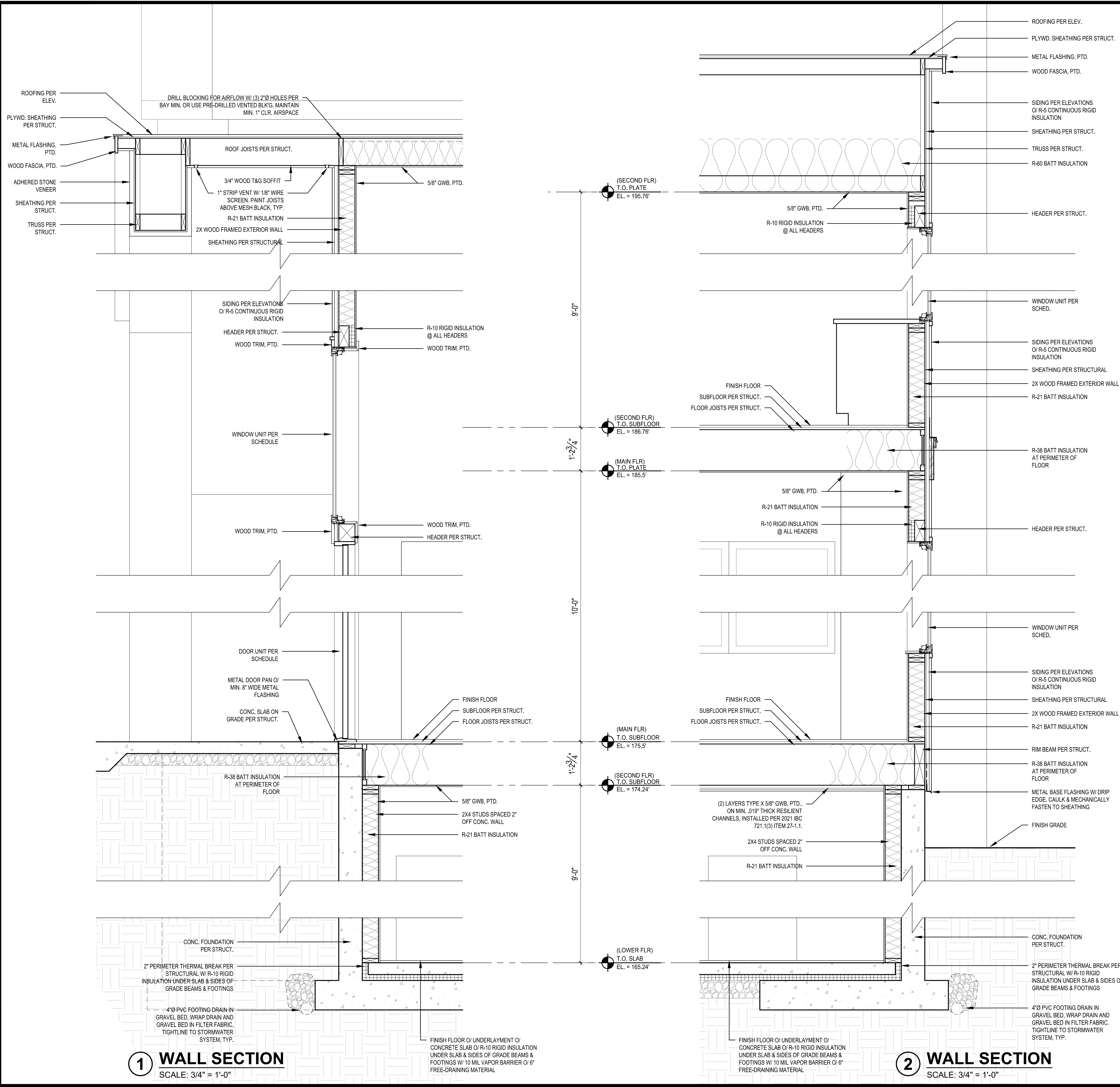
3 BUILDING SECTION
 SCALE: 1/4" = 1'-0"



4 BUILDING SECTION
 SCALE: 1/4" = 1'-0"



SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
 PERMIT SET 01/20/2026



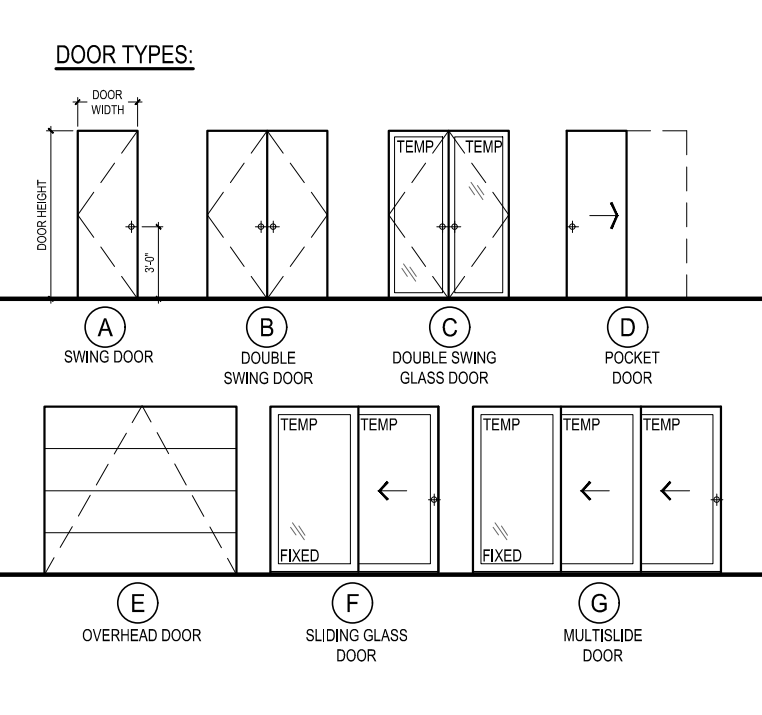
WINDOW SCHEDULE RKK78

TAG.	DESCRIPTION	R.O. SIZE		TEMP	QTY.	AREA (SF)	U-VAL (MIN.)	GLAZING	REMARKS & NOTES
		WIDTH	HEIGHT						
A	CASEMENT	3'-0"	5'-0"	Y	15		0.28	LOW E / CLEAR	SOME TEMP
B	SLIDER	7'-0"	5'-0"	Y	1		0.28	LOW E / CLEAR	EGRESS
C	FIXED	2'-0"	3'-0"	Y	1		0.28	LOW E / CLEAR	TEMP GLASS, OBSCURED (VERIFY)
D	FIXED	2'-6"	3'-6"		8		0.28	LOW E / CLEAR	
E	SLIDER	8'-0"	5'-0"	Y	1		0.28	LOW E / CLEAR	TEMP GLASS, EGRESS
F	FIXED	4'-0"	5'-0"	Y	4		0.28	LOW E / CLEAR	TEMP GLASS
G	FIXED	7'-0"	5'-0"		1		0.28	LOW E / CLEAR	TRANSOM
H	CASEMENT	3'-0"	6'-0"		2		0.28	LOW E / CLEAR	EGRESS
I	FIXED	5'-0"	6'-0"		1		0.28	LOW E / CLEAR	
J	CASEMENT	2'-6"	4'-0"		2		0.28	LOW E / CLEAR	
K	FIXED	4'-0"	5'-6"		2		0.28	LOW E / CLEAR	
L	CASEMENT	2'-6"	3'-6"		1		0.28	LOW E / CLEAR	
M	CASEMENT	3'-0"	5'-6"		2		0.28	LOW E / CLEAR	

DOOR SCHEDULE RKK78

DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR THK.	U-VAL (MIN.)		REMARKS
LOWER FLOOR									
001	ADU LIVING	3'-0"	7'-0"	A		1-3/4"			20 MIN FIRE-RATED, SELF-CLOSING
002	ADU LIVING	PR 2'-8"	8'-0"	B	Y	1-3/4"	0.28		TEMP GLASS
003	ADU BEDROOM	2'-8"	7'-0"	A		1-3/4"			
004	ADU BATH	2'-6"	7'-0"	A		1-3/4"			
005	ADU CLOSET	2'-6"	7'-0"	A		1-3/4"			
006	STORAGE	3'-0"	7'-0"	A		1-3/4"			
007	POWDER-1	2'-6"	7'-0"	A		1-3/4"			
008	MECH.	3'-0"	7'-0"	A		1-3/4"			
009	UNDER-STAIR STORAGE	2'-8"	7'-0"	A		1-3/4"			
MAIN FLOOR									
101	ENTRY	PR 3'-6"	8'-0"	B	Y	1-3/4"	0.28		TEMP GLASS
102	ENTRY CLOSET	2'-8"	8'-0"	A		1-3/4"			
103	OFFICE	PR 2'-8"	8'-0"	C	Y	1-3/4"	0.28		TEMP GLASS
104	POWDER-2	2'-6"	8'-0"	A		1-3/4"			
105	MUD RM CLOSET	2'-6"	8'-0"	A		1-3/4"			
106	MUD RM	3'-0"	8'-0"	A		1-3/4"			20 MIN FIRE-RATED, SELF-CLOSING
107	GARAGE	18'-0"	8'-0"	E		1-3/4"			
108									not used
109	ENTRY HALL	8'-6"	8'-0"	G	Y	1-3/4"	0.28		TEMP GLASS
110	ENTRY HALL	8'-6"	8'-0"	G	Y	1-3/4"	0.28		TEMP GLASS
111	LIVING ROOM	6'-0"	8'-0"	F	Y	1-3/4"	0.28		TEMP GLASS
UPPER FLOOR									
201	BATH-1	2'-8"	8'-0"	A		1-3/4"			
202	BATH-1	2'-8"	8'-0"	A		1-3/4"			
203	BED-1	2'-8"	8'-0"	A		1-3/4"			
204	BED-1 CLOSET	PR 2'-8"	8'-0"	B		1-3/4"			
205	HALL LINEN	2'-8"	8'-0"	A		1-3/4"			
206	BED-2	2'-8"	8'-0"	A		1-3/4"			
207	BED-2 CLOSET	2'-8"	8'-0"	D		1-3/4"			
208	LAUNDRY	3'-0"	8'-0"	A		1-3/4"			
209	BED-3	2'-8"	8'-0"	A		1-3/4"			
210	BATH-2	2'-6"	8'-0"	A		1-3/4"			
211	BED-3 CLOSET	2'-6"	8'-0"	A		1-3/4"			
212	PRIMARY BED	3'-0"	8'-0"	A		1-3/4"			
213	PRIMARY CLOSET	2'-8"	8'-0"	D		1-3/4"			
214	PRIMARY BATH	2'-8"	8'-0"	A		1-3/4"			
215	PRIMARY BATH	2'-4"	8'-0"	A		1-3/4"			

- WINDOW & DOOR SCHEDULE NOTES:**
- CONTRACTOR TO VERIFY ALL GLAZING SIZING, AND DOOR DIMENSIONS IN FIELD PRIOR TO ROUGH FRAMING & ORDERING OF GLAZING/WINDOW/DOOR MATERIALS. REVIEW SIZES AND ANY DISCREPANCIES W/ ARCHITECT.
 - ALL GLAZING TO BE "LOW E", INSULATED GLASS UNLESS NOTED OTHERWISE.
 - ALL OPERABLE WINDOWS TO HAVE SCREENS.
 - GLAZING INDOORS AND/OR WITHIN 24" OF A DOOR TO BE TEMPERED. SEE EXTERIOR ELEVATION FOR TEMP. GLASS LOCATION & EGRESS WINDOWS.
 - 2021 WISC & VIAO RESIDENTIAL PRESCRIPTIVE OPTION 3 ADOPTED. GLAZING AREA INDICATED UNLIMITED. SEE ENERGY NOTE AT A1.0 SHEET FOR DETAILS.
 - ALL SKYLIGHTS SHALL BE FULLY TEMPERED OVER LAMINATED GLASS

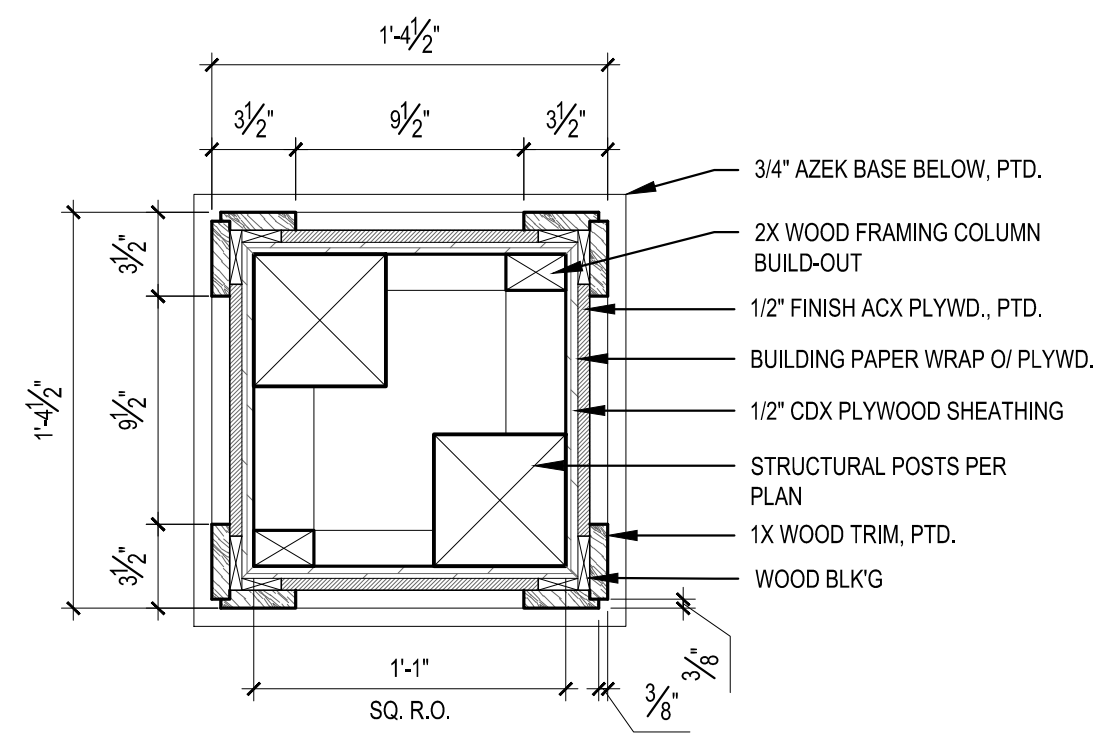


SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY

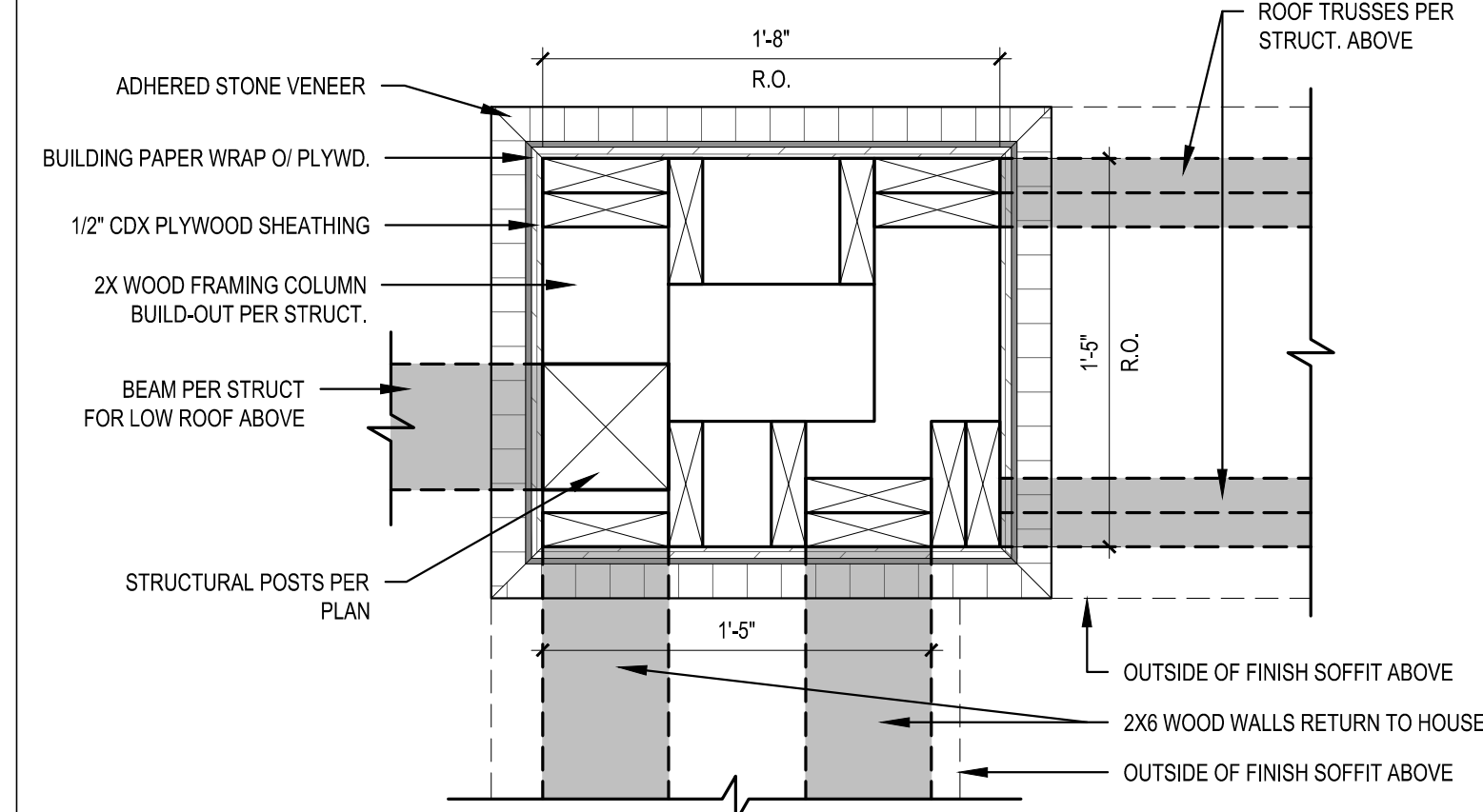
PERMIT SET 01/20/2026

1 WALL SECTION
 SCALE: 3/4" = 1'-0"

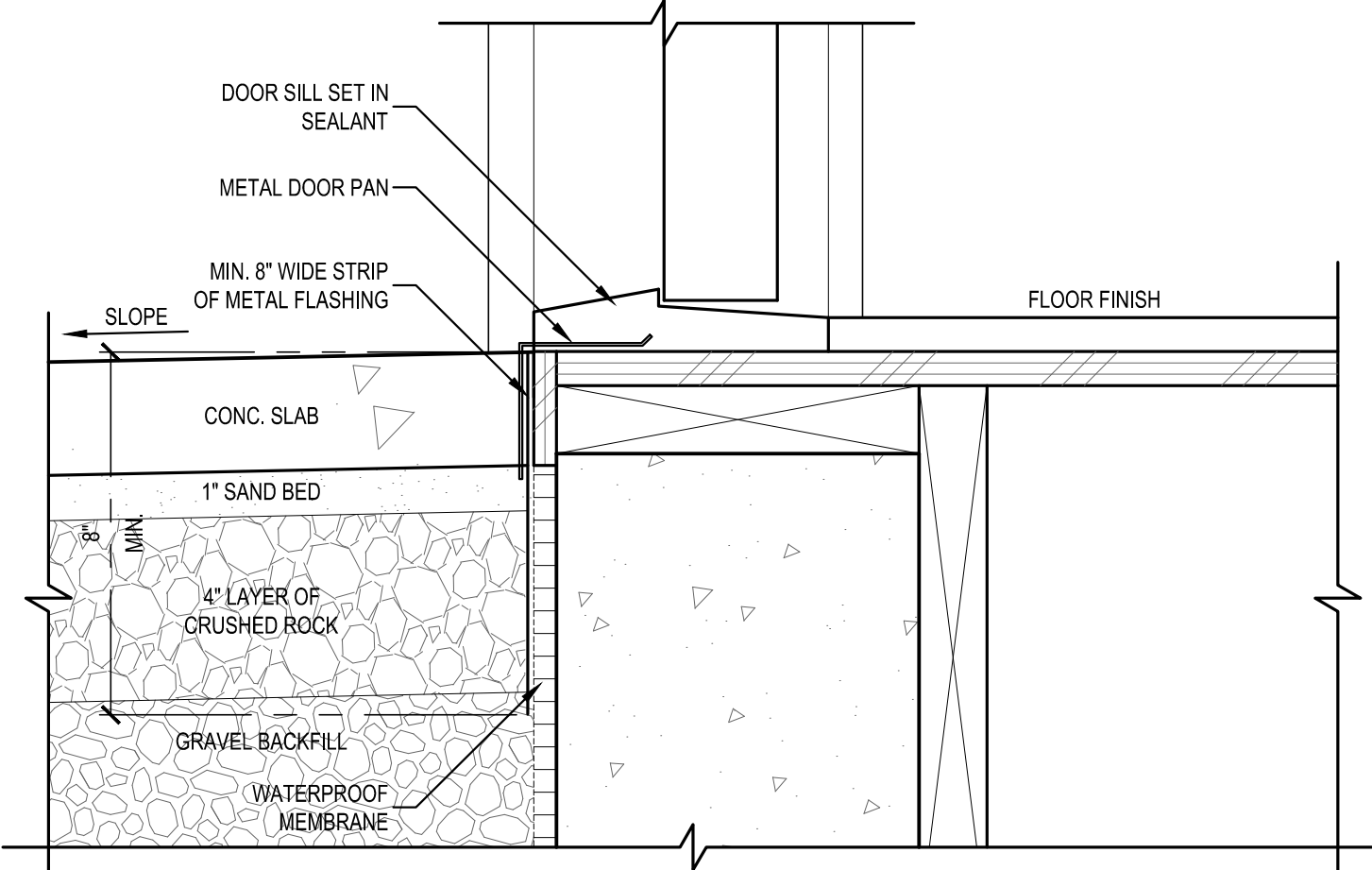
2 WALL SECTION
 SCALE: 3/4" = 1'-0"



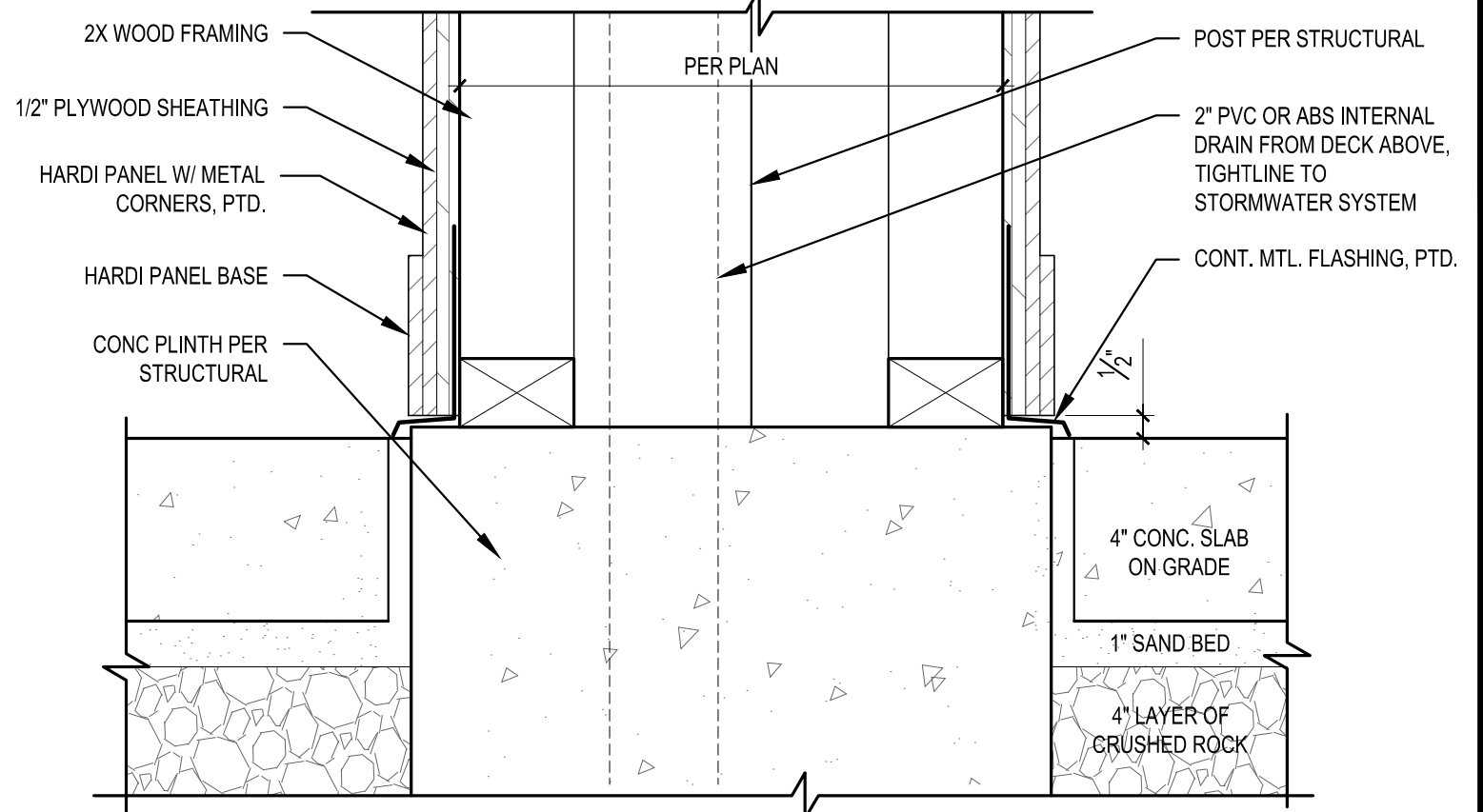
1 REAR COLUMN PLAN DETAIL
SCALE: 1 1/2" = 1'-0"



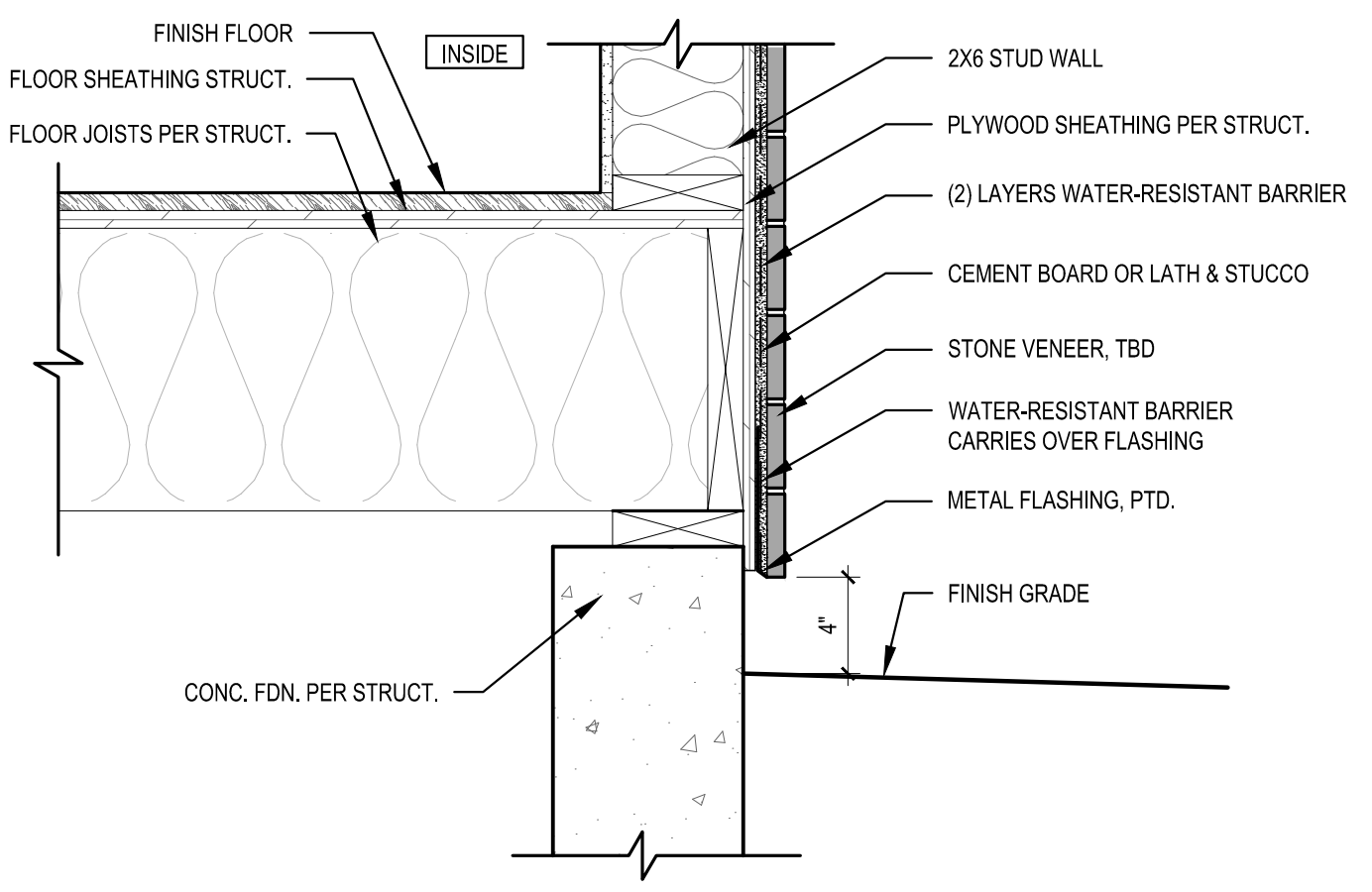
2 ENTRY COLUMN PLAN DETAIL
SCALE: 1 1/2" = 1'-0" MIRRORED ACROSS ENTRY



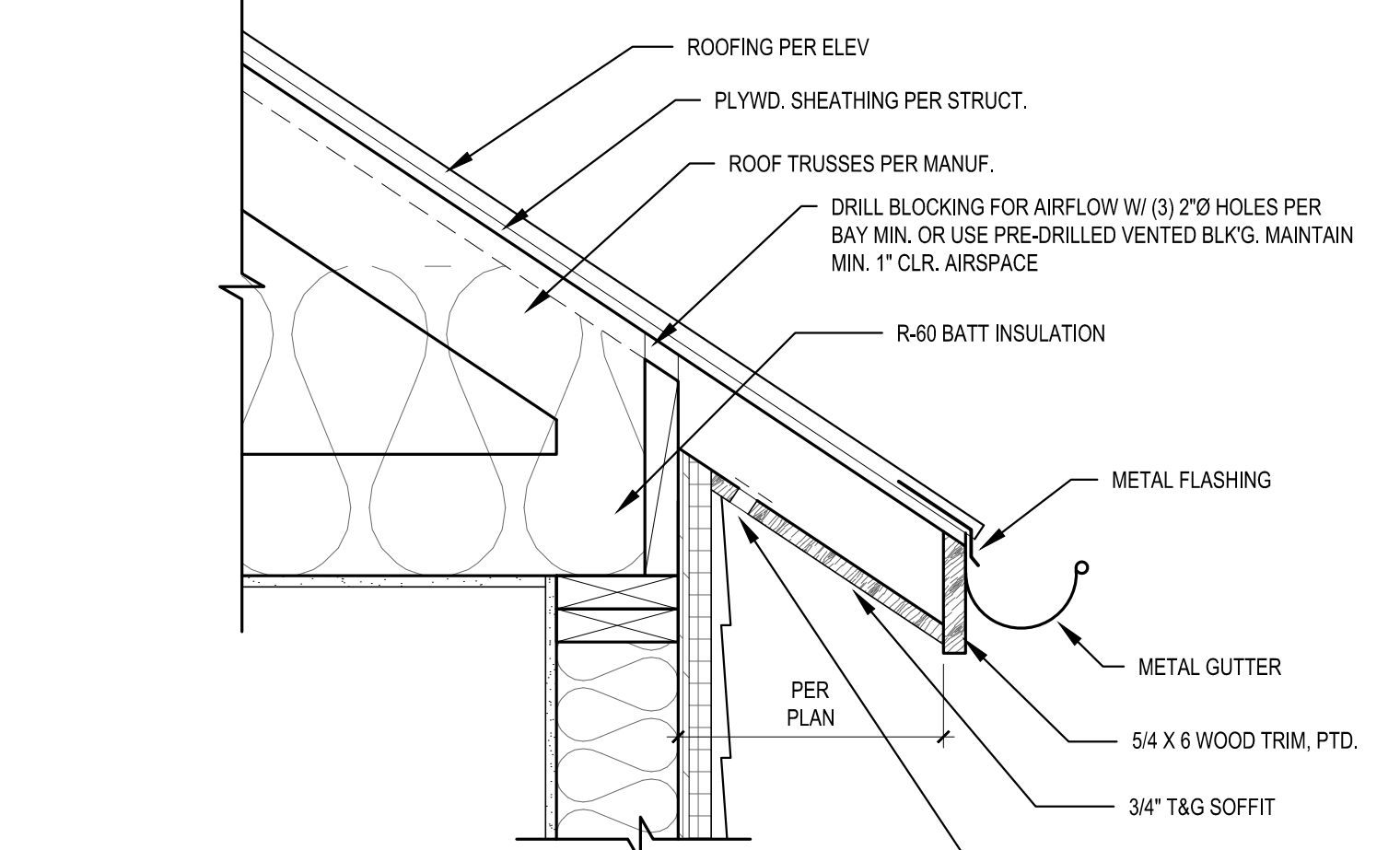
3 FLASHING @ FLUSH THRESHOLD DETAIL
SCALE: 3" = 1'-0"



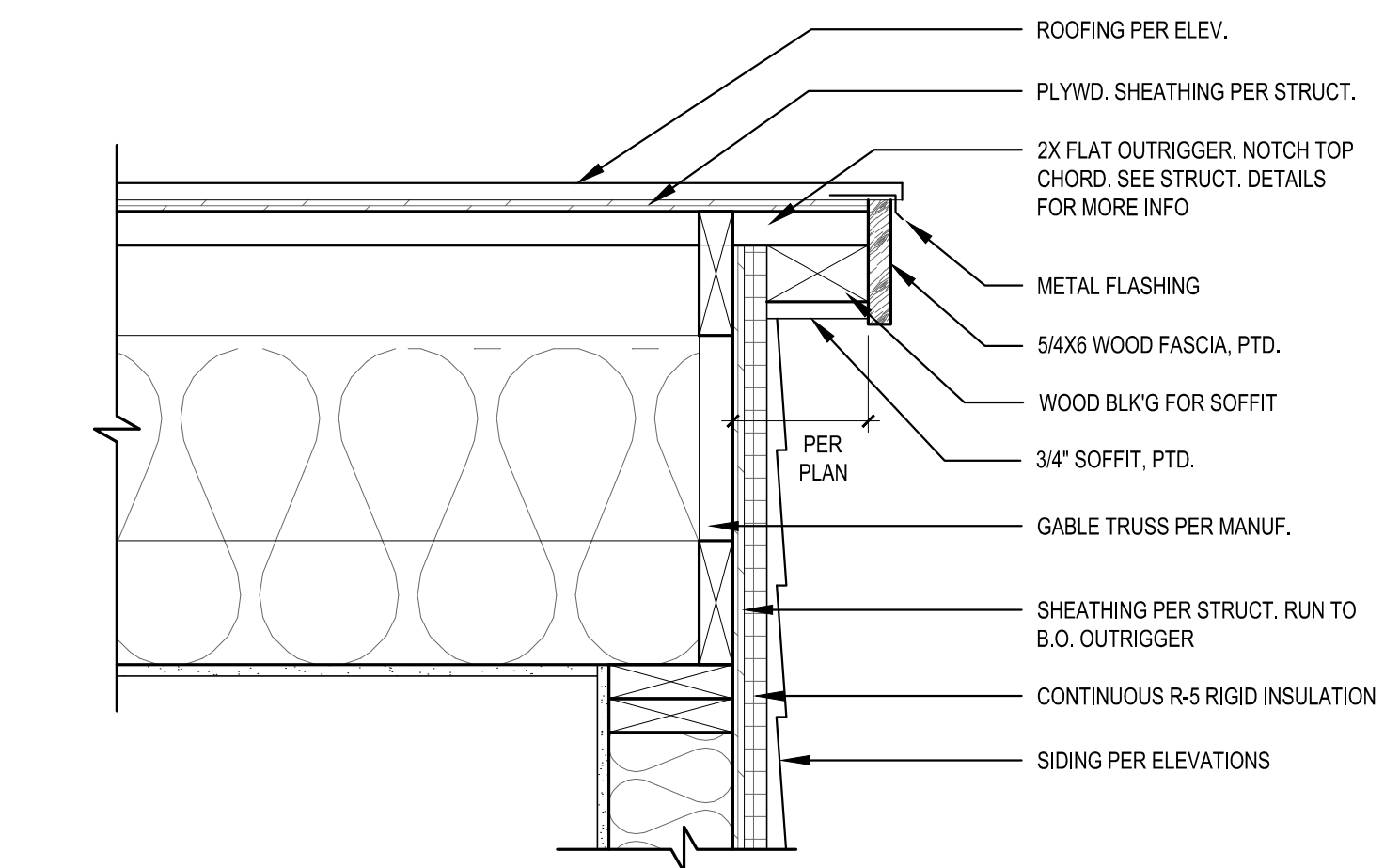
4 CONC. PLINTH COLMN BASE DETAIL
SCALE: 3" = 1'-0"



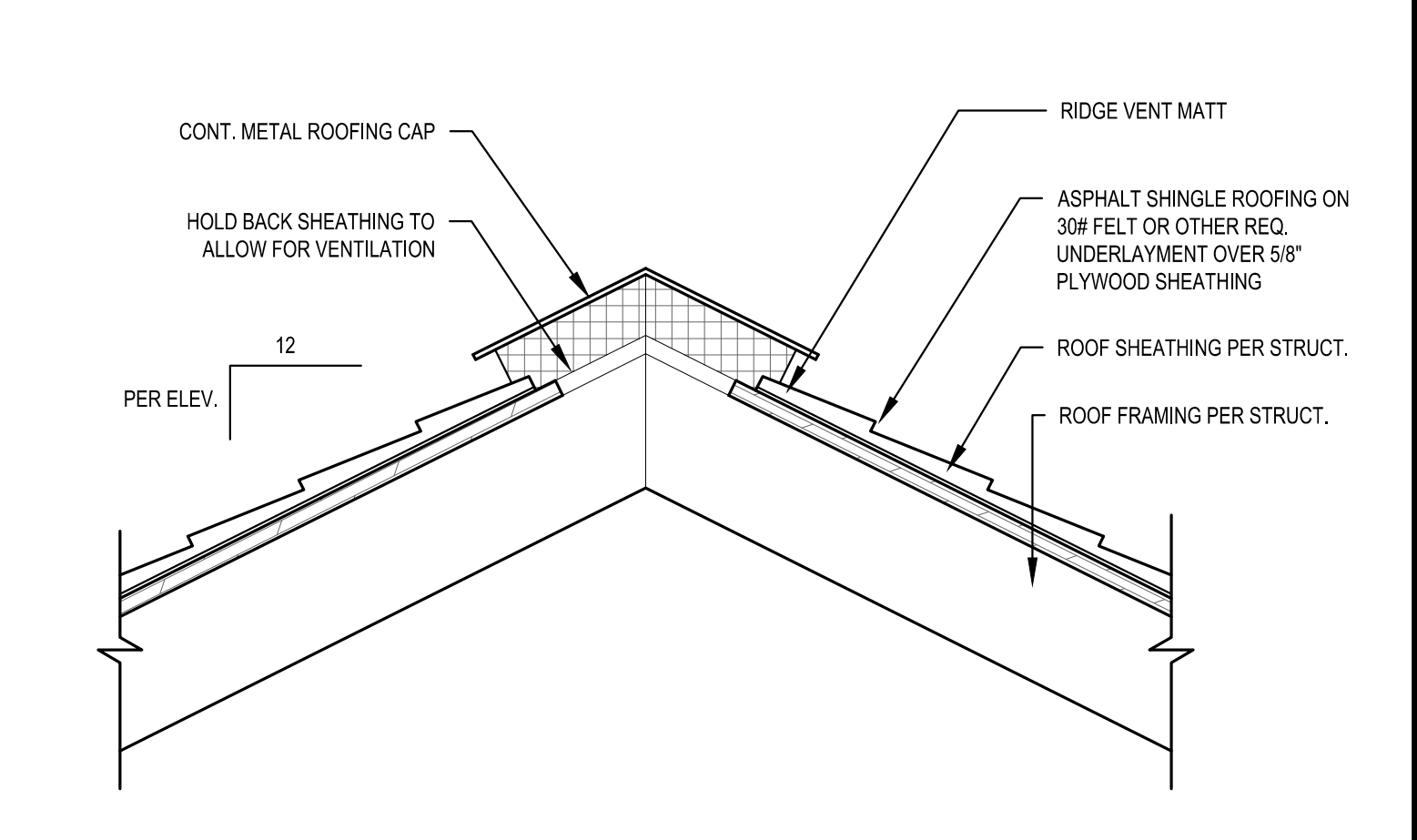
5 TYP. STONE VENEER AT STUD WALL
SCALE: 1 1/2" = 1'-0"



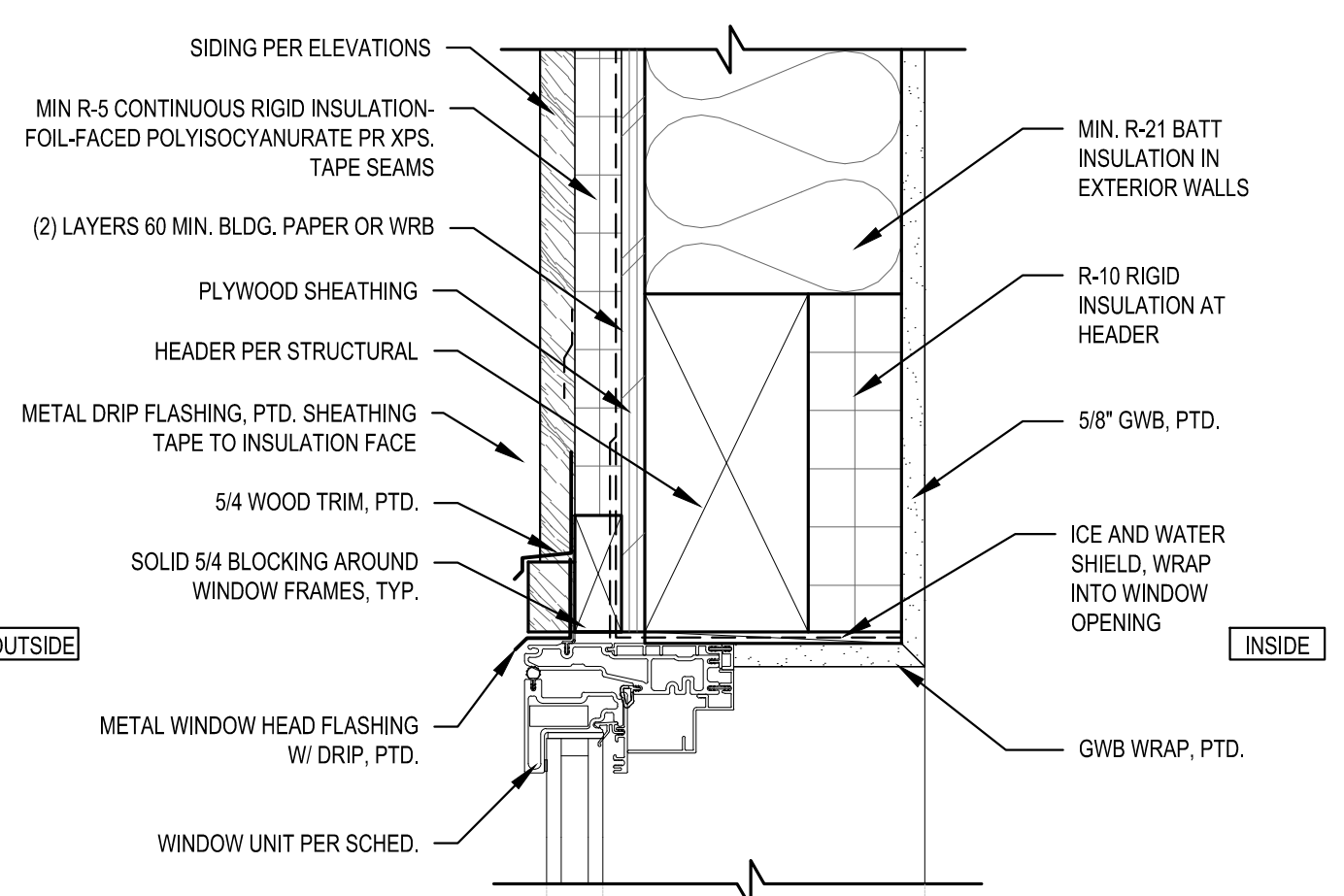
6 TYPICAL ROOF EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



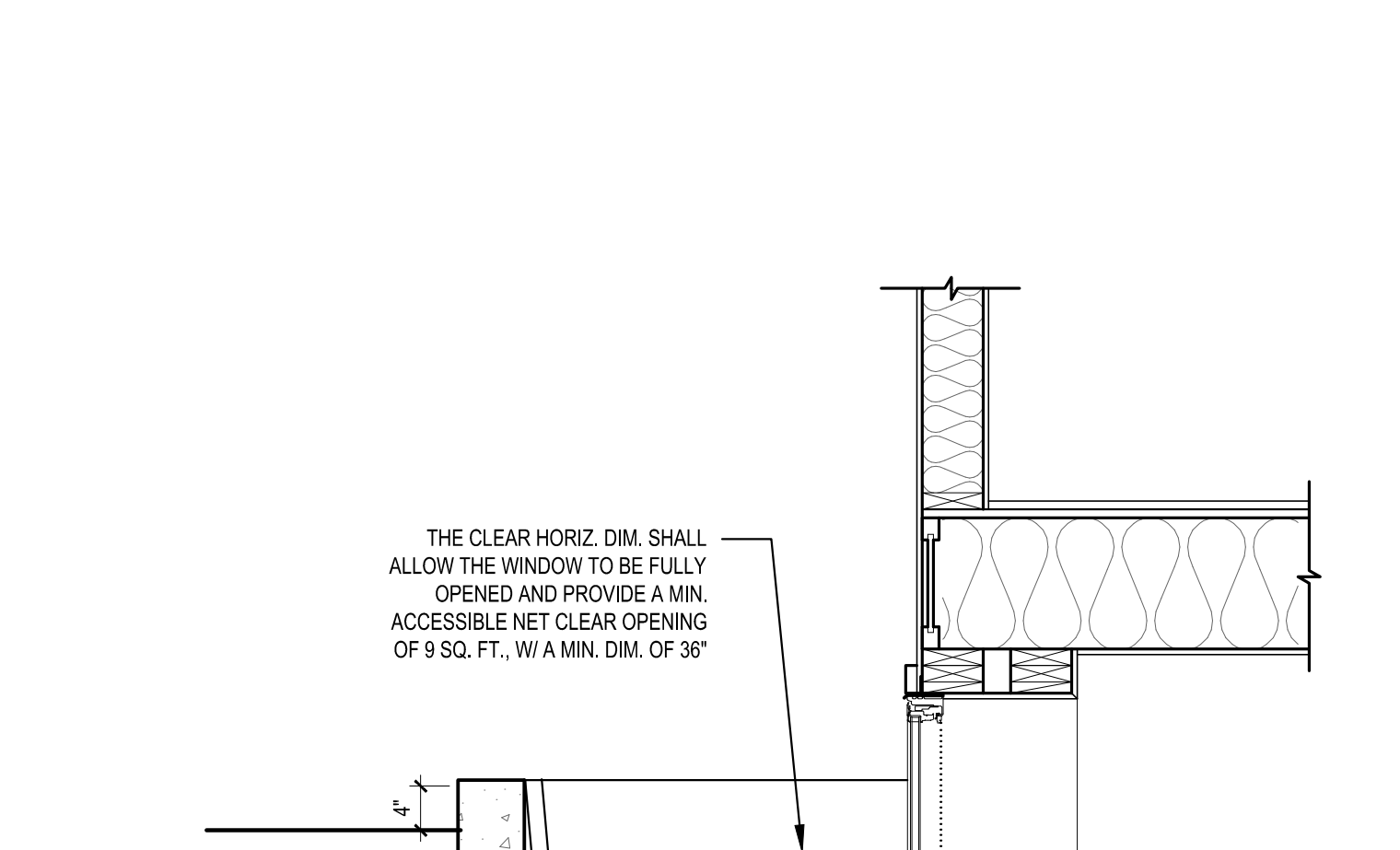
7 TYPICAL ROOF RAKE DETAIL
SCALE: 1 1/2" = 1'-0"



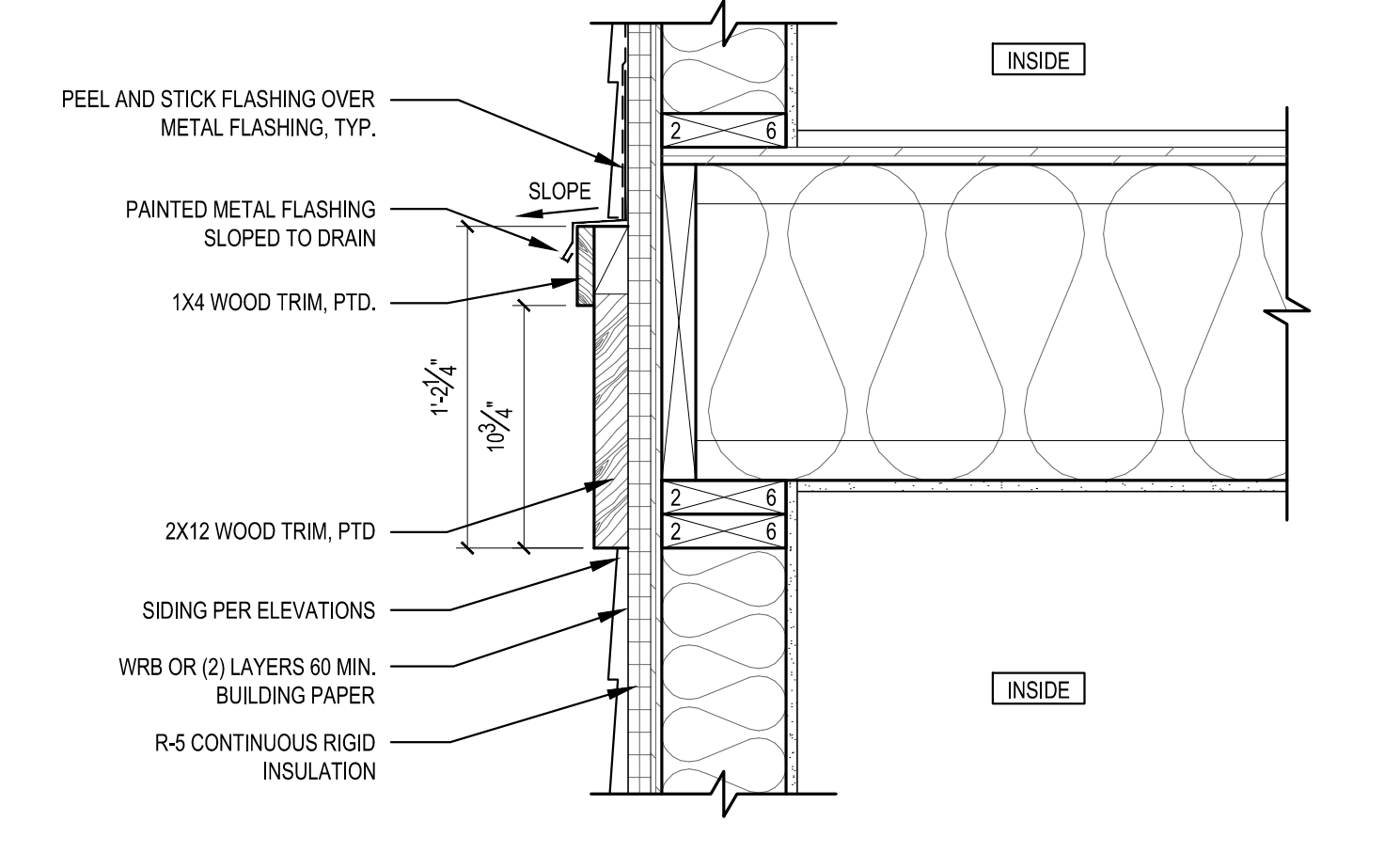
8 TYP. ROOF RIDGE VENT DETAIL
SCALE: 1 1/2" = 1'-0"



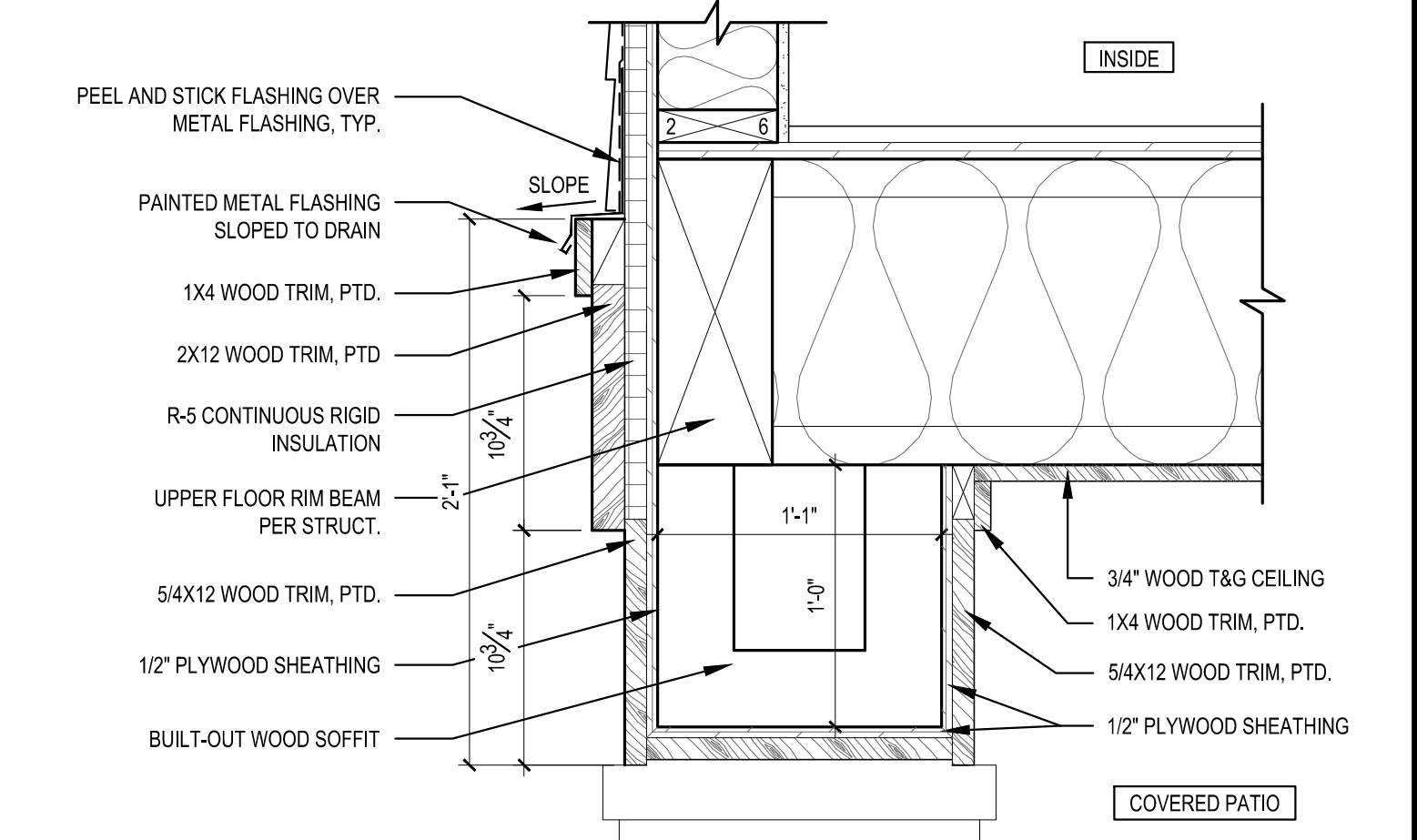
9 TYPICAL WINDOW HEAD DETAIL
SCALE: 3" = 1'-0" SIM. AT WINDOW JAMB



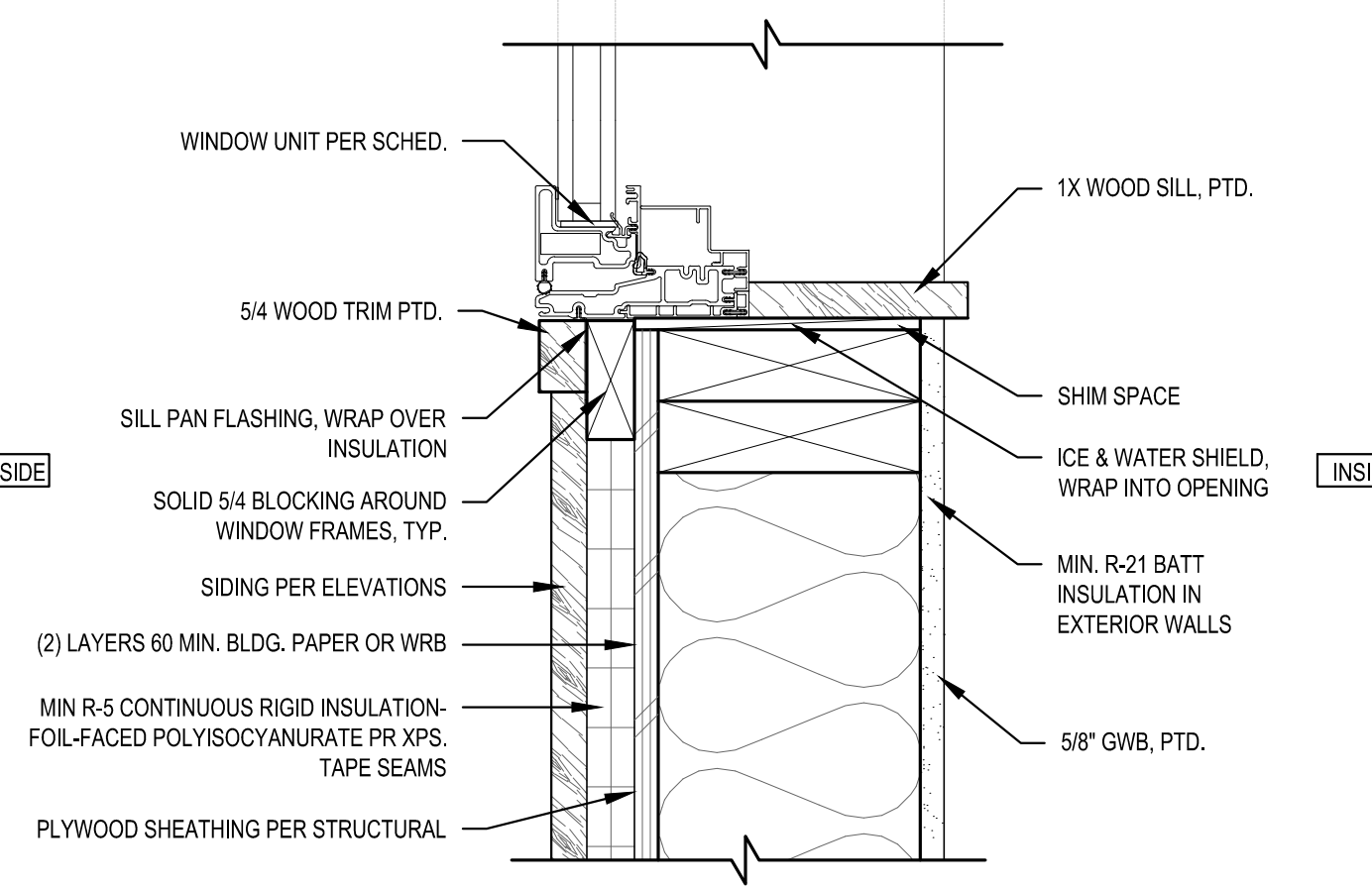
11 TYPICAL EGRESS WELL DETAIL
SCALE: 1 1/2" = 1'-0"



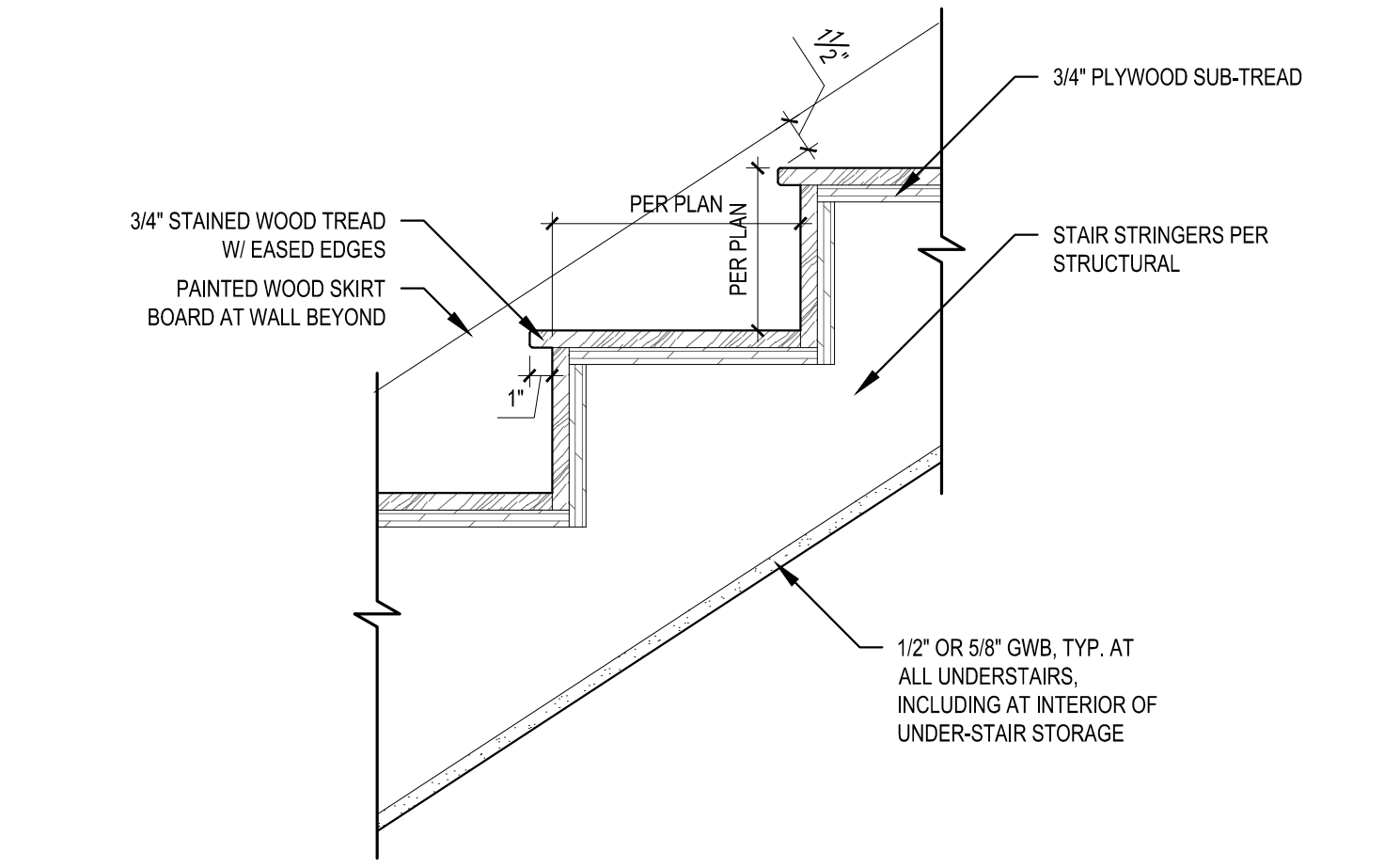
12 TYPICAL BAND TRIM DETAIL
SCALE: 1 1/2" = 1'-0"



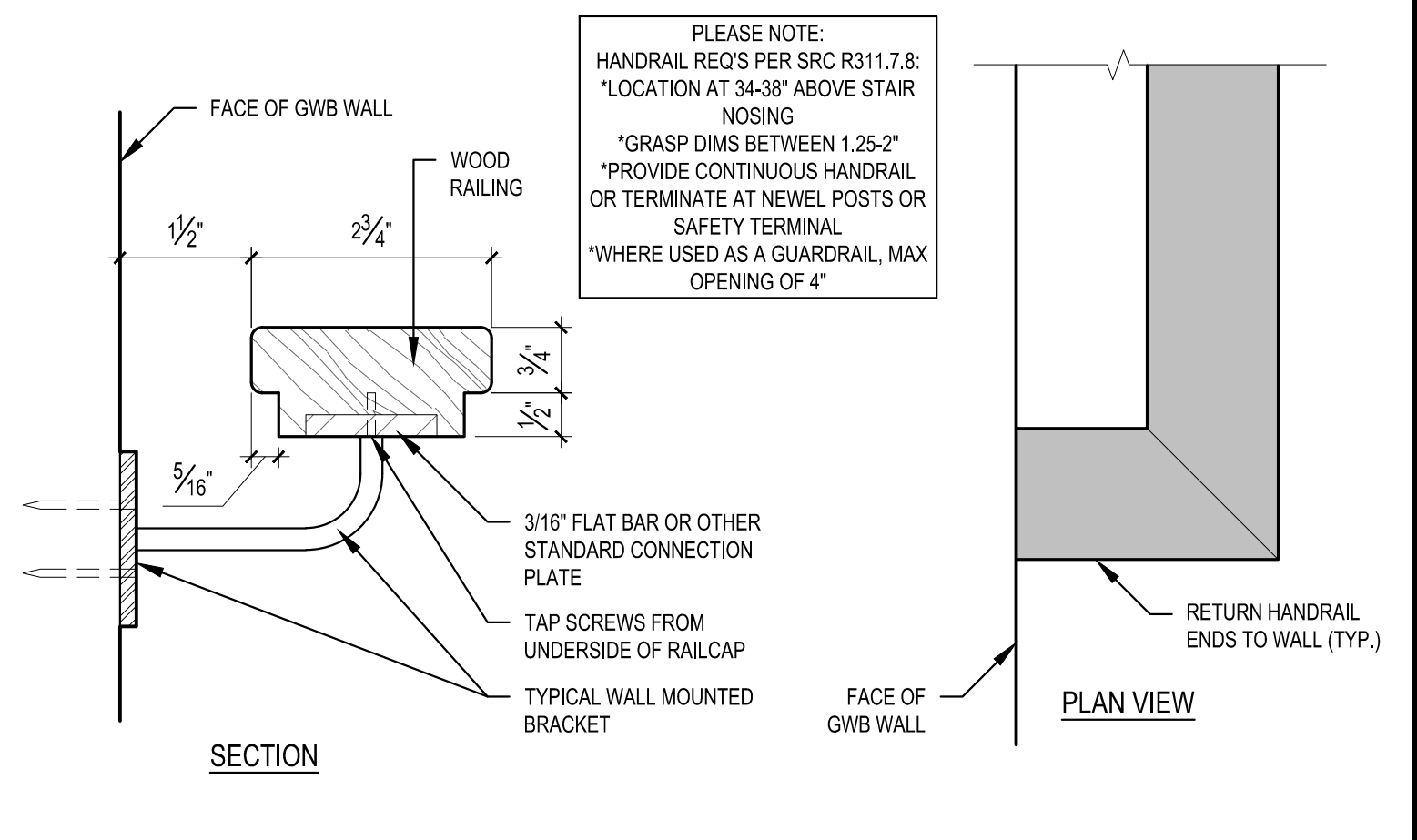
13 BAND TRIM @ SOFFIT DETAIL
SCALE: 1 1/2" = 1'-0"



10 TYPICAL WINDOW SILL DETAIL
SCALE: 3" = 1'-0"



14 TYPICAL CLOSED STAIR RISER DETAIL
SCALE: 1 1/2" = 1'-0"



15 HANDRAIL DETAIL
SCALE: 3" = 1'-0"

PLEASE NOTE:
HANDRAIL REQS PER SRC R311.7.8:
*LOCATION AT 34-38" ABOVE STAIR NOSING
*GRASP DIMS BETWEEN 1.25-2"
*PROVIDE CONTINUOUS HANDRAIL OR TERMINATE AT NEVEL POSTS OR SAFETY TERMINAL
*WHERE USED AS A GUARDRAIL, MAX. OPENING OF 4"

SCALE: IF SHEET IS LESS THAN 24" x 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PERMIT SET 9/18/2022

BUILDING CODE: 2021 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC), AND BY REFERENCE, THE 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) AS AMENDED BY LOCAL JURISDICTION.
ROOF LIVE LOAD = 25 PSF SNOW (GROUND SNOW = 30 PSF)
ROOF DEAD LOAD = 15 PSF
FLOOR LIVE LOAD = 40 PSF (30 PSF AT SLEEPING AREAS)
FLOOR DEAD LOAD = 15 PSF
BALCONIES & DECKS = 60 PSF (LIVE LOAD) + 10 PSF (DEAD LOAD)
WIND SPEED, NOMINAL 3 SEC GUST = 100 MPH FOR RISK CATEGORY II, EXPOSURE 'C', Kzt=1.61
SOIL SITE CLASS "D" - SEISMIC CATEGORY D1-D3 Ss=1.42, Sa=0.25
OCCUPANCY GROUP: R-3 **CONSTRUCTION TYPE:** V-B

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO ARCHITECT AND/OR ENGINEER OF RECORD FOR RESOLUTION PRIOR TO COMMENCING WORK. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. ARCHITECT AND/OR ENGINEER OF RECORD ARE NOT RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

DEFERRED SUBMITTAL ITEMS

THE FOLLOWING IS A LIST OF ITEMS THAT ARE NOT INCLUDED IN THIS PLAN AND SHOULD BE PROVIDED BY THE BUILDER AT TIME OF APPLICATION FOR PERMIT OR AS A DEFERRED SUBMITTAL ITEM:
 - ALTERNATIVE 1-JOIST/BEAM MANUFACTURER PLANS.
 - MANUFACTURED TRUSS DESIGNS AND LAYOUTS

GENERAL

FOUNDATION DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING OF 1500 PSF. EXTERIOR FOOTINGS SHALL BE BUILT (MINIMUM) BELOW FINISHED GRADE. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED EARTH BELOW ORGANIC SURFACE SOILS. BACKFILL TO BE THOROUGHLY COMPACTED.
 BOLT HEADS AND NUTS BEARING AGAINST WOOD TO BE PROVIDED WITH 0.229"x3"x3" PLATE WASHERS. WOOD BEARING ON OR INSTALLED WITHIN 1" OF MASONRY OR CONCRETE TO BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE.
 FOUNDATION BOLT BOLTS (MIN 1" EMBED) TO BE 5/8" DIAMETER AT 6'-0" O.C. (4'-0" AT BUILDINGS OVER 2 STORES) UNO. METAL FRAMING CONNECTORS TO BE MANUFACTURED BY SIMPSON STRONG-TIE OR USP STEEL CONNECTORS.

CONCRETE

MINIMUM COMPRESSIVE STRENGTH OF CONCRETE:

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	MINIMUM COMPRESSIVE STRENGTH (FC) AT 28 DAYS
BASEMENT WALLS, FOUNDATION FOOTINGS, BASEMENT SLABS, & INTERIOR SLABS ON GRADE (EXCEPT GARAGE) NOT EXPOSED TO THE WEATHER	2500 psi
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS, PORCHES, STEPS, GARAGE & CARPORT SLABS, & OTHER CONCRETE WORK EXPOSED TO THE WEATHER	3000 psi (6% air entrained w/ 1%)

CONCRETE MIXTURE SHALL CONTAIN AT LEAST 5 1/2 SACKS OF CEMENT PER CUBIC YARD. CONCRETE "BATCH TICKET" SHALL BE AVAILABLE ON SITE FOR REVIEW BY BUILDING OFFICIAL. VERTICAL REINFORCING STEEL TO COMPLY WITH ASTM A615 GRADE 40 (GRADE 60 AT WALLS RETAINING MORE THAN 4FT OF SOIL).

CARPENTRY

GENERAL

ALL NAILING TO COMPLY WITH REQUIREMENTS OF IRC TABLE R602.3(1) AND/OR IBC TABLE 2304.10. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. FIELD CUT ENDS, NOTCHES, AND DRILLED HOLES OF PRESSURE TREATED LUMBER SHALL BE RETREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4. PER IRC 319.3, FASTENERS FOR PRESSURE PRESERVATIVE AND FIRE RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER.
 6" MIN. CLEARANCE BETWEEN WOOD AND EARTH.
 12" MIN. CLEARANCE BETWEEN FLOOR BEAMS AND EARTH.
 18" MIN. CLEARANCE BETWEEN FLOOR JOIST AND EARTH.

FASTENER DIMENSIONS

ALL NAILS SPECIFIED ON THIS PLAN SHALL BE OF THE DIAMETER AND LENGTH LISTED BELOW OR AS PER APPENDIX L OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS):
 8d COMMON (0.131" DIA, 2-1/2" LENGTH), 8d BOX (0.113" DIA, 2-1/2" LONG), 10d COMMON (0.148" DIA, 3" LONG), 10d BOX (0.128" DIA, 3" LENGTH), 16d COMMON (0.162" DIA, 3-1/2" LONG), 16d SINKER (0.148" DIA, 3-1/4" LONG), 5d COOLER (0.086" DIA, 1-5/8" LONG), 6d COOLER (0.092" DIA, 1-7/8" LONG)

LUMBER GRADES

FRAMING LUMBER SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF THE WESTERN PRODUCTS ASSOCIATION OR THE WEST COST LUMBER INSPECTION BUREAU. ALL SAWN LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY AND SHALL HAVE THE FOLLOWING UNADJUSTED MINIMUM DESIGN PROPERTIES, UNLESS NOTED OTHERWISE.

JOISTS:	WOOD TYPE:
2X4 TO 2X8	DF-L #2 - Fb+900 psi, Fv+180 psi, Fc+1350 psi, E=16,000,000 psi
2X10 OR LARGER	DF-L #2 - Fb+900 psi, Fv+180 psi, Fc+1350 psi, E=16,000,000 psi
BEAM	
4X	DF-L #2 - Fb+900 psi, Fv+180 psi, Fc+1350 psi, E=16,000,000 psi
6X OR LARGER	DF-L #1 - Fb+1350 psi, Fv+170 psi, Fc+925 psi, E=16,000,000 psi
STUDS	
2X4 & 2X6	DF STUD - Fb+700 psi, Fv+180 psi, Fc+850 psi, E=14,000,000 psi
2X8 OR LARGER	DF-L #2 - Fb+900 psi, Fv+180 psi, Fc+1350 psi, E=16,000,000 psi
POSTS	
4X4	DF-L #2 - Fb+900 psi, Fv+180 psi, Fc+1350 psi, E=16,000,000 psi
4X6	DF-L #2 - Fb+900 psi, Fv+180 psi, Fc+1350 psi, E=16,000,000 psi
6X6 OR LARGER	DF-L #1 - Fb+1200 psi, Fv+170 psi, Fc+1000 psi, E=16,000,000 psi

GLUED-LAMINATED BEAM (GLB)

SHALL BE 24F-V4 FOR SINGLE SPANS & 24F-V8 FOR CONTINUOUS OR CANTILEVER SPANS WITH THE FOLLOWING MINIMUM PROPERTIES:
 Fb = 2,400 PSI, Fv = 165 PSI, Fc = 650 PSI (PERPENDICULAR), E = 1,800,000 PSI.

ENGINEERED WOOD BEAMS AND JOIST

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SPECIFICATIONS FOR APPROVAL BY BUILDING OFFICIAL. DESIGN, FABRICATION AND ERECTION IN ACCORDANCE WITH THE LATEST ICC EVALUATION REPORT.

BEAMS DESIGNATED AS "LVL" SHALL HAVE THE MINIMUM PROPERTIES:
 Fb = 2,325 PSI, Fv = 310 PSI, Fc = 800 PSI (PERPENDICULAR), E = 1,850,000 PSI.

BEAMS DESIGNATED AS "TVL" SHALL HAVE THE MINIMUM PROPERTIES:
 Fb = 2,600 PSI, Fv = 285 PSI, Fc = 750 PSI (PERPENDICULAR), E = 1,900,000 PSI.

BEAMS DESIGNATED AS "PSL" SHALL HAVE THE MINIMUM PROPERTIES:
 Fb = 2,300 PSI, Fv = 230 PSI, Fc = 750 PSI (PERPENDICULAR), E = 2,000,000 PSI.

CALCULATIONS SHALL INCLUDE DEFLECTION AND CAMBER REQUIREMENTS. DEFLECTION SHALL BE LIMITED AS FOLLOWS:
 FLOOR LIVE LOAD MAXIMUM = L/480, FLOOR TOTAL LOAD MAXIMUM = L/240.

PREFABRICATED WOOD TRUSSES:

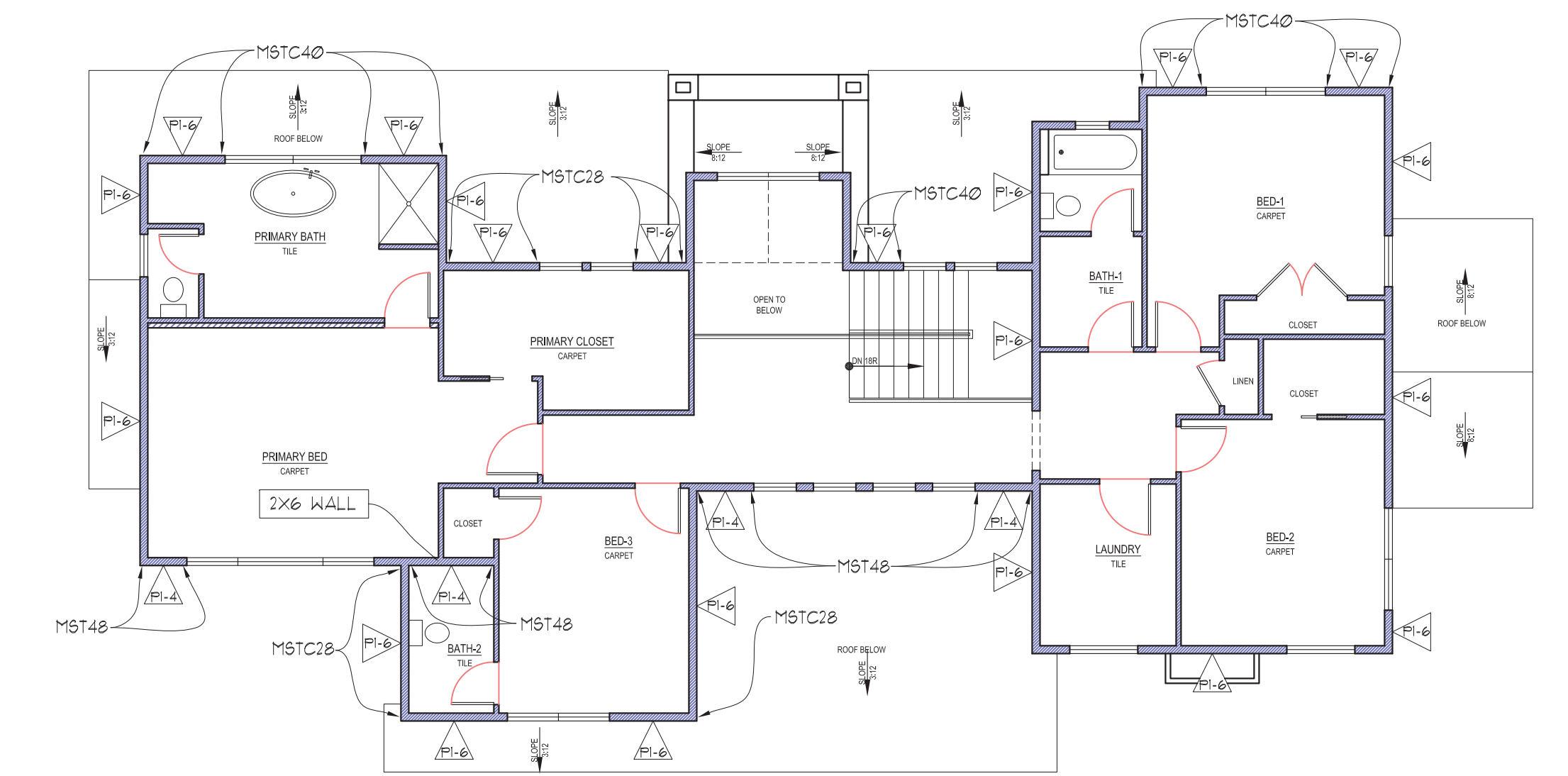
PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED TO SUPPORT SELF WEIGHT PLUS LIVE LOADS & IMPOSED DEAD LOADS AS STATED IN THE GENERAL NOTES. TRUSSES SHALL BE DESIGNED & STAMPED BY A REGISTERED DESIGN PROFESSIONAL AND FABRICATED ONLY FROM THOSE DESIGNS. NON-BEARING WALLS SHALL BE HELD AWAY FROM THE TRUSS BOTTOM CHORD W/ AN APPROVED FASTENER (SUCH AS SIMPSON STC) TO ENSURE THAT THE TRUSS BOTTOM CHORD DOES NOT BEAR ON THE WALL. ALL PERMANENT TRUSS MEMBER BRACING SHALL BE INSTALLED PER THE TRUSS DESIGN DRAWINGS.

ROOF/WALL FLOOR SHEATHING

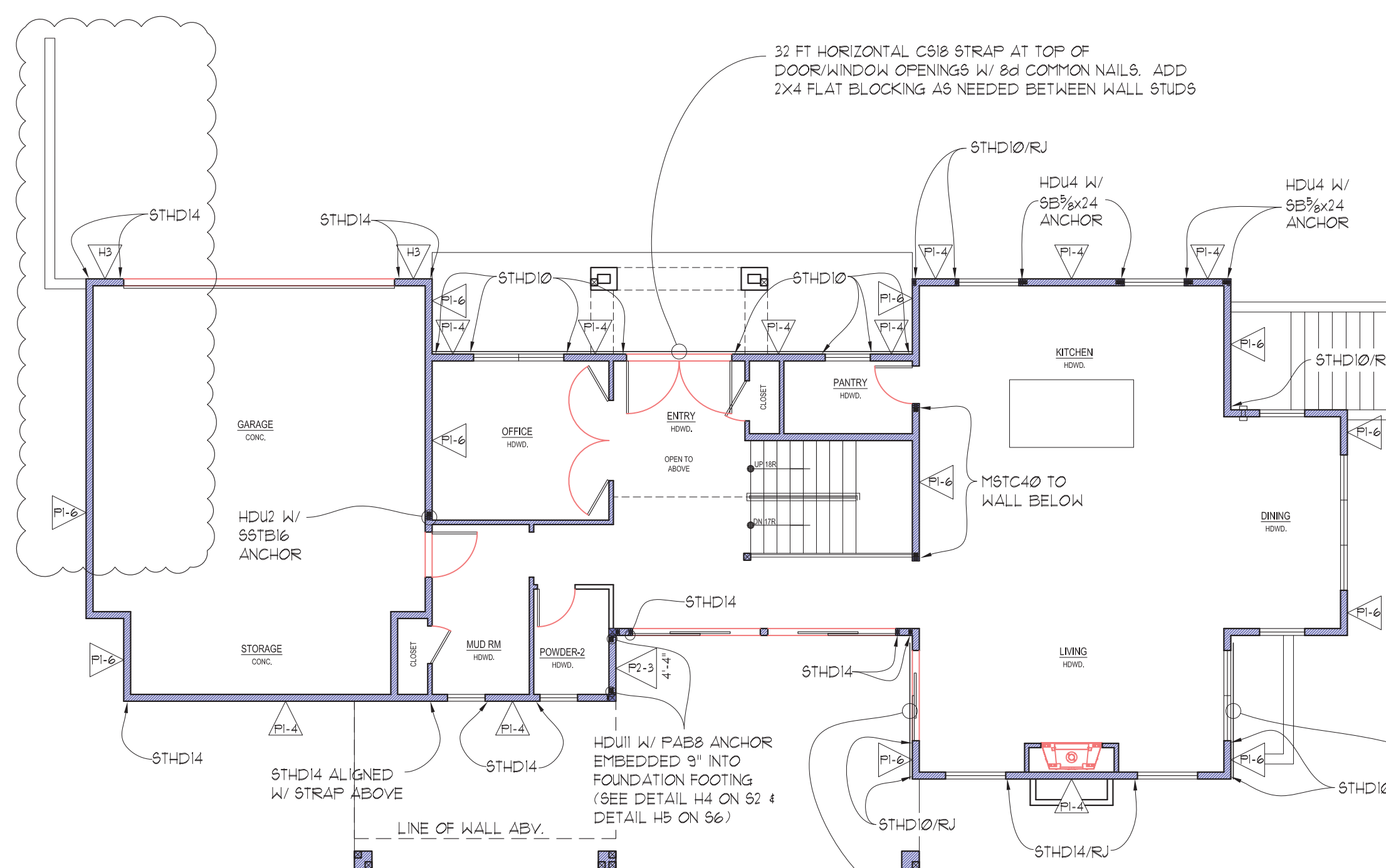
ROOF SHEATHING SHALL BE MINIMUM 3/8" SHEATHING W/ 3/4" SPAN INDEX UNO. WALL SHEATHING, INCLUDING GABLES, SHALL BE 3/8" SHEATHING W/ 3/4" SPAN INDEX MINIMUM UNO. FLOOR SHEATHING SHALL BE MINIMUM 3/8" T&G SHEATHING W/ 40% SPAN INDEX MINIMUM UNO. MINIMUM NAILING SHALL BE 8d COMMON NAILS @ 6" O.C. @ PANEL EDGES & 12" O.C. IN PANEL FIELD UNO ON SHEAR WALL SCHEDULE. ROOF AND FLOOR SHEATHING SHALL BE LAID OUT W/ LONG DIMENSION PERPENDICULAR TO FRAMING MEMBERS W/ END LAP'S STAGGERED. WALL SHEATHING, INCLUDING GABLES, SHALL BE FULLY BLOCKED & EDGE NAILED AT ALL UNSUPPORTED SHEATHING PANEL EDGES.
STAIR FRAMING
 UNLESS NOTED OTHERWISE SPECIFIED, TYPICAL STAIR FRAMING SHALL CONSIST OF 2X12 STAIR STRINGERS SPACED AT NO MORE THAN 18" O.C. AND REINFORCED W/ 2X6 SCABS ATTACHED W/ 10d COMMON NAILS STAGGERED AT 8" O.C. STRINGERS SHALL BE SUPPORTED AT UPPER END BY BEARING ON TOP PLATE OF WALL OR APPROVED CONNECTOR OR TO FLOOR BEAM SUCH AS SIMPSON LRU OR LSC. LANDINGS SHALL CONSIST OF CONVENTIONAL PLATFORM FRAMING W/ MINIMUM 2X6 JOISTS @ 16" O.C.

SHEAR WALL SCHEDULE									
WALL MARK	SHEATHING (MINIMUM)	EDGE NAILING	FIELD NAILING	FRAMING # ADJOINING PANEL EDGES	SOLE/BASE PLATE FASTENING (STAGGER)	MINIMUM RIM BOARD OR BLOCKING WIDTH BELOW WALL	SILL PLATE	ANCHOR BOLT DIA. & SPACING	
PI-6	3/8" SHEATHING ONE SIDE	8d (0.131"x2.5") AT 6" O.C.	12" O.C.	2X	(1) ROW 16d SINKER (0.148"x3.1/2") @ 8" O.C.	125" LSL (13E) UNLESS NOTED OTHERWISE	2X	5/8" DIA. @ 12" O.C.	
PI-4	3/8" SHEATHING ONE SIDE	8d (0.131"x2.5") AT 4" O.C.	12" O.C.	2X	(1) ROW 16d SINKER (0.148"x3.1/2") @ 4" O.C.	125" LSL (13E) UNLESS NOTED OTHERWISE	2X	5/8" DIA. @ 48" O.C.	
PI-3	3/8" SHEATHING BOTH SIDES	8d (0.131"x2.5") AT 3" O.C.	12" O.C.	3X OR GREATER	(2) ROWS 1/2"x5" SDB SCREWS @ 6" O.C. (OFFSET ROWS 15")	35" LSL (15E) UNLESS NOTED OTHERWISE	3 X 6	5/8" DIA. @ 16" O.C.	
H3	3/8" SHEATHING ONE SIDE	SEE DETAIL H3 ON SHEET 52 FOR FRAMING CONFIGURATION & SPECIFICATION OF NAILING, STRAPS, & HOLD-DOWNS (REFER TO APA TECHNICAL TOPIC TT-100, "A PORTAL FRAME W/ HOLD-DOWNS FOR ENGINEERED APPLICATIONS")							

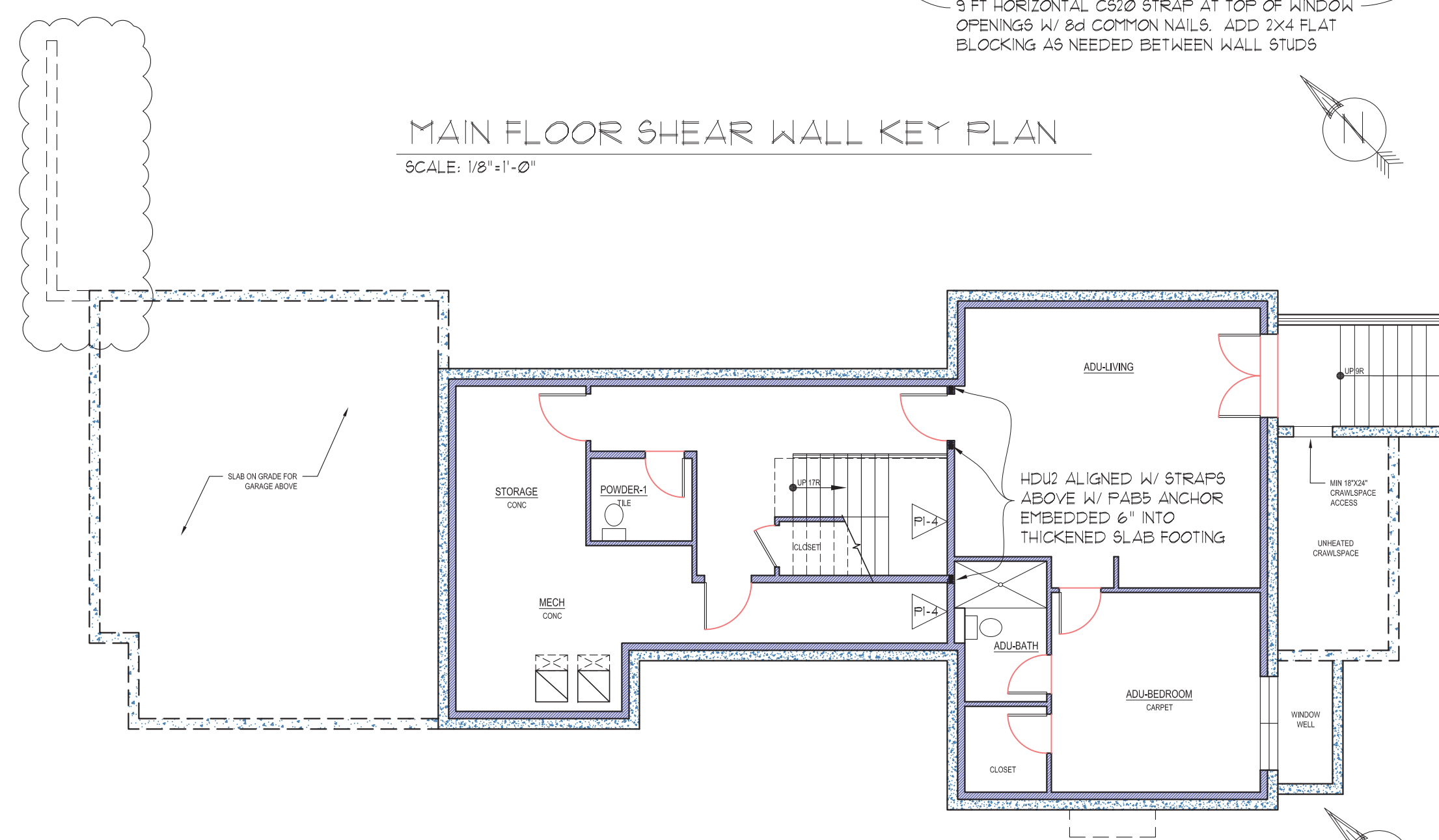
- FRAMING SHALL BE 2X DOUG-FIR @ 16" O.C. MAX UNLESS NOTED OTHERWISE IN SCHEDULE.
- SHEATHING PANELS MAY BE LAYED VERTICAL OR HORIZONTAL. BLOCK ALL ADJOINING HORIZONTAL EDGES W/ 2x OR 3x BLOCKING PER SCHEDULE.
- ALL EXTERIOR WALLS NOT DESIGNATED AS SHEAR WALLS SHALL RECEIVE AKA RATED SHEATHING OR ALL VENEER PLYWOOD SIDING OF EQUIVALENT THICKNESS AT POINT OF FASTENING ON PANEL EDGES, FULLY BLOCKED WITH MINIMUM NAILING OF 8d (0.131"x2.5") @ 6" O.C. EDGE @ 12" O.C. FIELD.
- NAILING APPLIES TO ALL STUDS, TOP PLATES, SOLE PLATES, SILL PLATES, & BLOCKING. PANEL EDGE AND SILL/SOLE PLATE NAILING SHALL BE STAGGERED.
- ANCHOR BOLT SPACING IS 6'-0" O.C. (4'-0" AT BUILDINGS OVER 2 STORES) UNLESS NOTED OTHERWISE IN SCHEDULE. MINIMUM OF 2 ANCHOR BOLTS PER PIECE OF FOUNDATION PLATE. ANCHOR BOLTS SPACED NO GREATER THAN 12" AND NO LESS THAN 1 TIMES THE ANCHOR BOLT DIAMETER AT ENDS & SPLICES. PROVIDE 0.229"x3"x3" WASHERS AT ANCHOR BOLTS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE SHEATHED EDGE OF THE SILL PLATE ON WALLS W/ EDGE NAILING AT 4" O.C. OR TIGHTER. DIAGONALLY SLOTTED WASHERS MAY BE USED W/ A STANDARD CUT WASHER PROVIDED BETWEEN PLATE WASHER & NUT. DO NOT RECESS BOLTS.
- ALL NAILS FOR SHEAR WALLS SHALL BE COMMON OR GALVANIZED BOX NAILS (UNO). ALL SPECIFIED NAILS SHALL HAVE THE FOLLOWING DIMENSIONS: 8d (0.131" DIA x 2.5" LONG), 10d (0.148" DIA x 3" LONG), 16d COMMON (0.162" DIA x 3.5" LONG), 16d SINKER (0.148" DIA x 3.25" LONG).
- IN LIEU OF 3X STUDS OR BLOCKING AT ADJOINING PANEL EDGES, 2-2X6 FACE NAILED W/ 10d COMMON NAILS (0.148" DIA x 3" LONG) STAGGERED AT THE SAME SPACING AS PANEL EDGE NAILING MAY BE SUBSTITUTED. SHEATHING EDGES SHALL BE CENTERED BETWEEN THE 2-2X6 MEMBERS (SHALL NOT APPLY TO WALLS SHEATHED ON BOTH SIDES UNLESS ADJOINING PANEL EDGES ARE STAGGERED ON OPPOSITE FACES).
- HOLD-DOWNS AND STRAPS OF EQUIVALENT CAPACITY (W/ CURRENT ICC EVALUATION REPORT OR SIMILAR) MAY ONLY BE SUBSTITUTED FOR THOSE SPECIFIED ON PLAN WITH PRIOR APPROVAL OF BUILDING OFFICIAL OR ENGINEER OF RECORD.
- BLOCKING IN FLOOR JOIST CAVITY IS REQUIRED AT ENDS OF SHEAR WALLS WHERE FULL BEARING IS NOT PROVIDED BY THE FRAMING BELOW. BLOCKING SHALL HAVE WOOD GRAIN ORIENTED VERTICALLY UNLESS NOTED OTHERWISE.
- SIMPSON MASAP MIDRILL ANCHORS, MAY BE SUBSTITUTED (1) FOR (1) AT 2X SILL PLATES FOR THE 3/8" DIA. SILL PLATE ANCHOR BOLTS SPECIFIED.



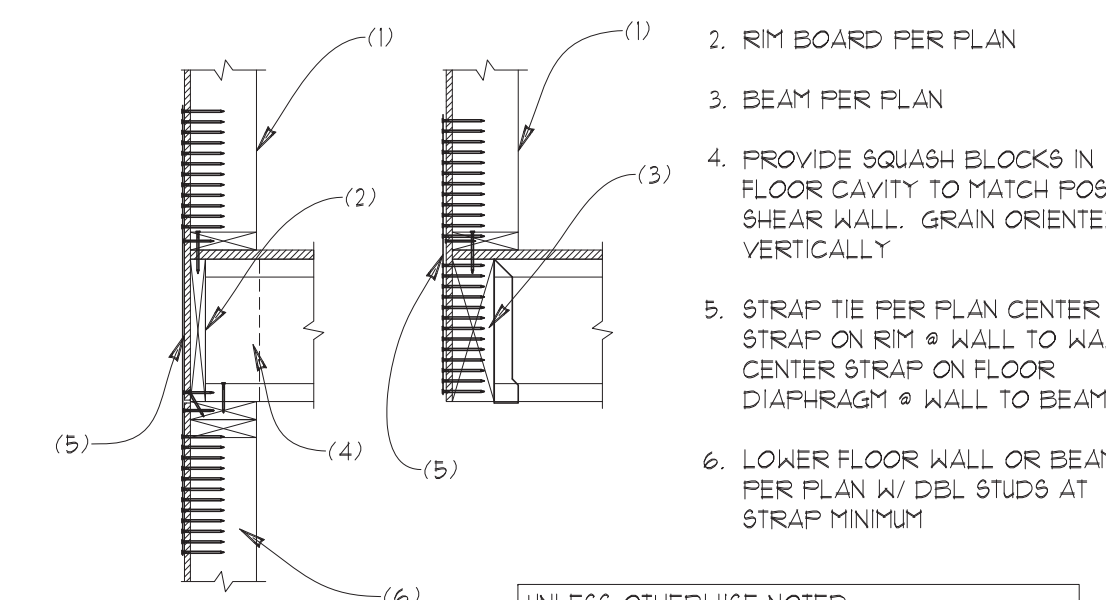
UPPER FLOOR SHEAR WALL KEY PLAN
SCALE: 1/8"=1'-0"



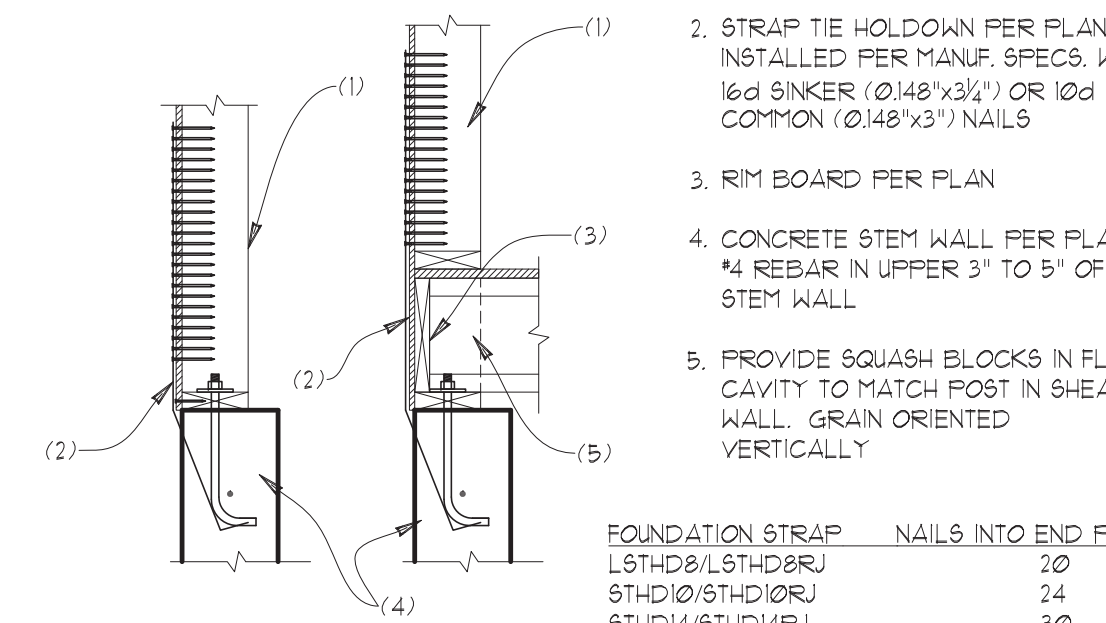
MAIN FLOOR SHEAR WALL KEY PLAN
SCALE: 1/8"=1'-0"



LOWER FLOOR SHEAR WALL KEY PLAN
SCALE: 1/8"=1'-0"



H1 TYPICAL STRAP TIE @ UPPER FLOORS
SCALE: 3/4"=1'



H2 TYPICAL STRAP TIE HOLD-DOWN
SCALE: 3/4"=1'

- UPPER FLOOR WALL PER PLAN W/ DBL STUDS AT STRAP MINIMUM
- RIM BOARD PER PLAN
- BEAM PER PLAN
- PROVIDE SQUASH BLOCKS IN FLOOR CAVITY TO MATCH POST IN SHEAR WALL. GRAIN ORIENTED VERTICALLY
- STRAP TIE PER PLAN CENTER STRAP ON RIM @ WALL TO WALL & CENTER STRAP ON FLOOR DIAPHRAGM @ WALL TO BEAM
- LOWER FLOOR WALL OR BEAM PER PLAN W/ DBL STUDS AT STRAP MINIMUM

UNLESS OTHERWISE NOTED:
 MSTCxxx & MSTCxxx3 STRAPS SHALL BE INSTALLED W/ 10d COMMON NAILS (0.148"x3") ALL OTHER STRAPS SHALL BE INSTALLED W/ 16d COMMON NAILS (0.162"x3.5")

FOUNDATION STRAP	NAILS INTO END POST
L5THD8/L5THD8RJ	20
5THD10/5THD10RJ	24
5THD14/5THD14RJ	30

STRUCTURAL PLANS

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 3206 50th Street Court, Ste. 210-B
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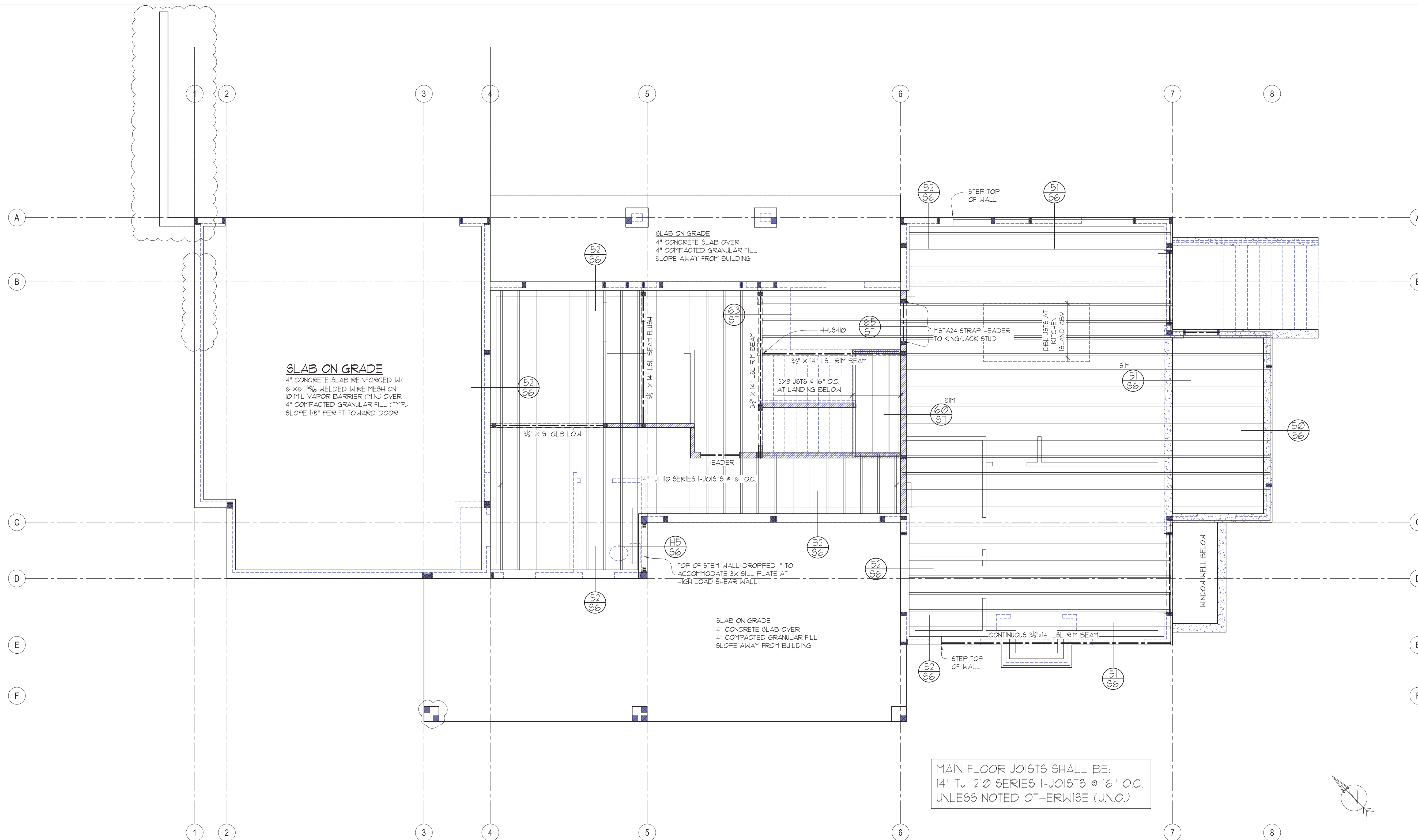


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BUILDING DEPT. APPROVAL STAMPS:

REVISION	INITI	DATE
COVID PATIO REV	MM	6-26-2025
REVIEW COMMENT	MM	11-22-2025

S1
 DATE: 4-3-2025
 INIT: MM
 PROJECT #: 2601



MAIN FLOOR FRAMING PLAN

- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED
- SOFFIT, VENT, AND INSULATE ALL CANTILEVERED AREAS
- ALL DOOR/WINDOW HEADERS AT THIS LEVEL TO BE 4X10 DF #2 AT BEARING WALLS , U.N.O., 6'-0" MAX. SPAN
- EXTERIOR WALLS TO BE 2X6 AT 16" O.C., U.N.O.
- INTERIOR PARTITIONS TO BE 2X4 AT 16" O.C. (2X6 @ PLUMBING WALLS) U.N.O.
- HEADERS 8FT OR LONGER SHALL BE PROVIDED W/ (2) TRIMMER (JACK) STUDS AT EACH END U.N.O.
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- PROVIDE SUPPLEMENTAL BLOCKING IN FLOOR CAVITY BELOW SUPPORT POSTS FOR GIRDERS, BEAMS, AND END POSTS FOR SHEAR WALLS TO MATCH FULL WIDTH OF POSTS IN WALL ABV. W/ GRAIN ORIENTED VERTICALLY AND PROVIDE MATCHING POSTS IN WALL BELOW UNLESS LARGER POSTS ARE SPECIFIED ON PLAN
- RAILINGS AND POSTS FOR GUARDS AT STAIR OPENINGS SHALL RESIST 200 LB LOAD IN ANY DIRECTION APPLIED AT TOP. INFILL PICKETS SHALL RESIST 50 LB LOAD OVER 1 SQ FT AT ANY LOCATION. MANUFACTURER SPECIFICATIONS FOR PROPRIETARY GUARD/RAILING SYSTEMS SHALL BE ON SITE FOR INSPECTION.

SCALE : 1/4" = 1'-0"

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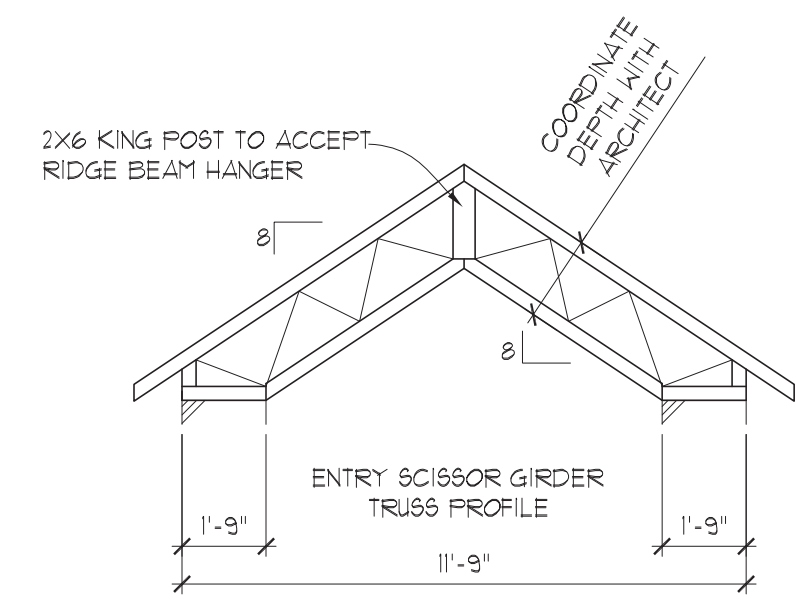
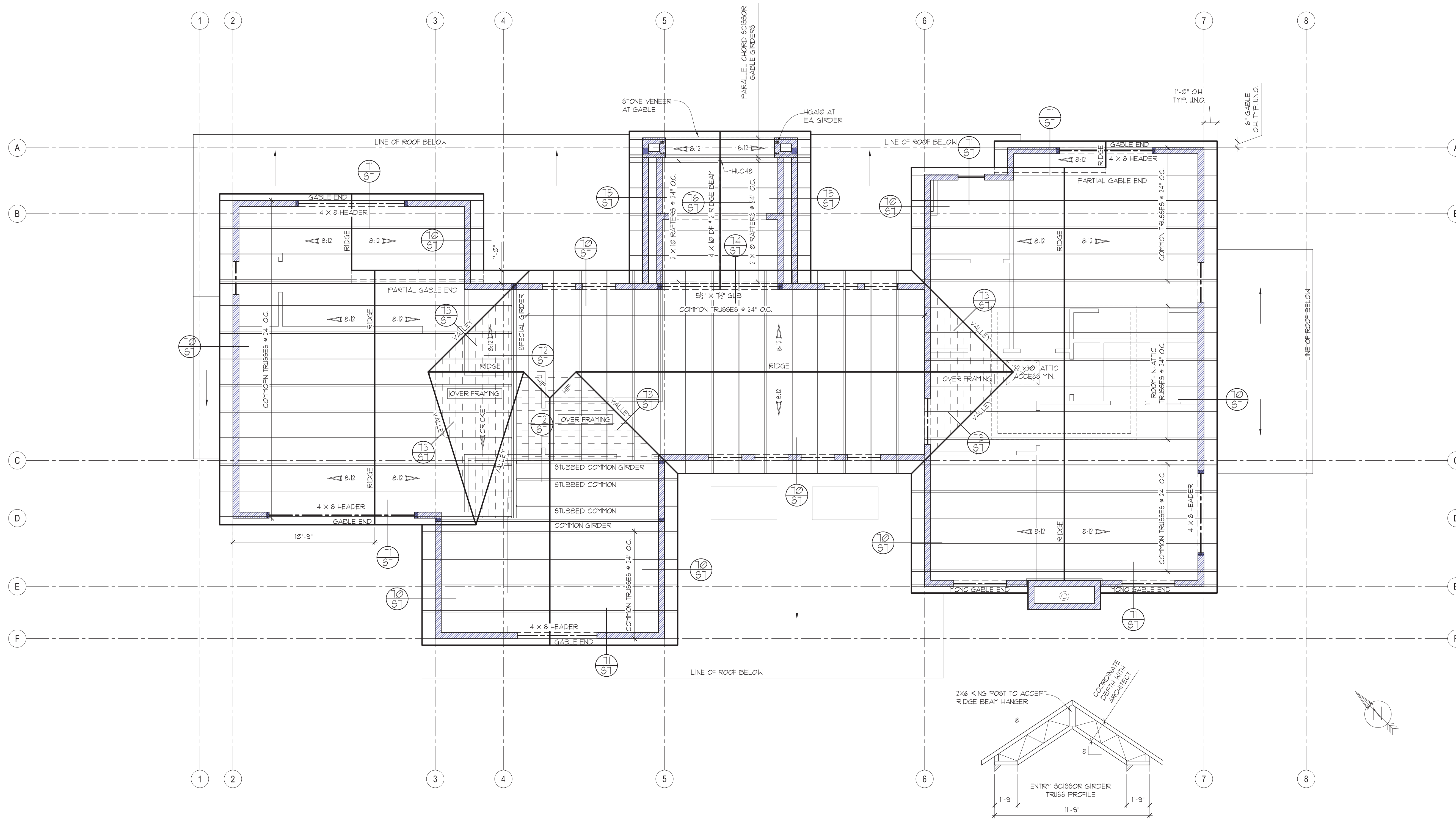


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COVD PATIO REV	MM	6-26-2025
REVIEW COMMENT	MM	11-22-2025

S3	DATE: 4-3-2025
	INIT: MM
	PROJECT #: 2601



ROOF FRAMING PLAN

SCALE : 1/4" = 1'-0"

- PROVIDE VENTED BLOCKING AT REQUIRED TRUSS/RAFTER BAYS
- ALL MANUFACTURED TRUSSES:
 - * SHALL HAVE DESIGN DETAILS AND DRAWINGS ON SITE FOR FRAMING INSPECTION
 - * SHALL NOT BE FIELD ALTERED WITHOUT ENGINEER'S APPROVAL
 - * SHALL BE INSTALLED AND BRACED TO MANUFACTURER'S SPECIFICATION
 - * SHALL CARRY MANUFACTURER'S STAMP ON EACH TRUSS
- ALL BEAMS AND HEADERS AT THIS LEVEL TO BE 4X10 DF #2 AT BEARING WALLS, U.N.O., 6'-0" MAX. SPAN
- HEADERS 8FT OR LONGER SHALL BE PROVIDED W/ (2) TRIMMER (JACK) STUDS AT EACH END U.N.O.
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- PROVIDE SUPPLEMENTAL BLOCKING IN FLOOR CAVITY BELOW SUPPORT POSTS FOR GIRDERS, BEAMS, AND END POSTS FOR SHEAR WALLS TO MATCH FULL WIDTH OF POSTS IN WALL ABV. W/ GRAIN ORIENTED VERTICALLY AND PROVIDE MATCHING POSTS IN WALL BELOW UNLESS LARGER POSTS ARE SPECIFIED ON PLAN

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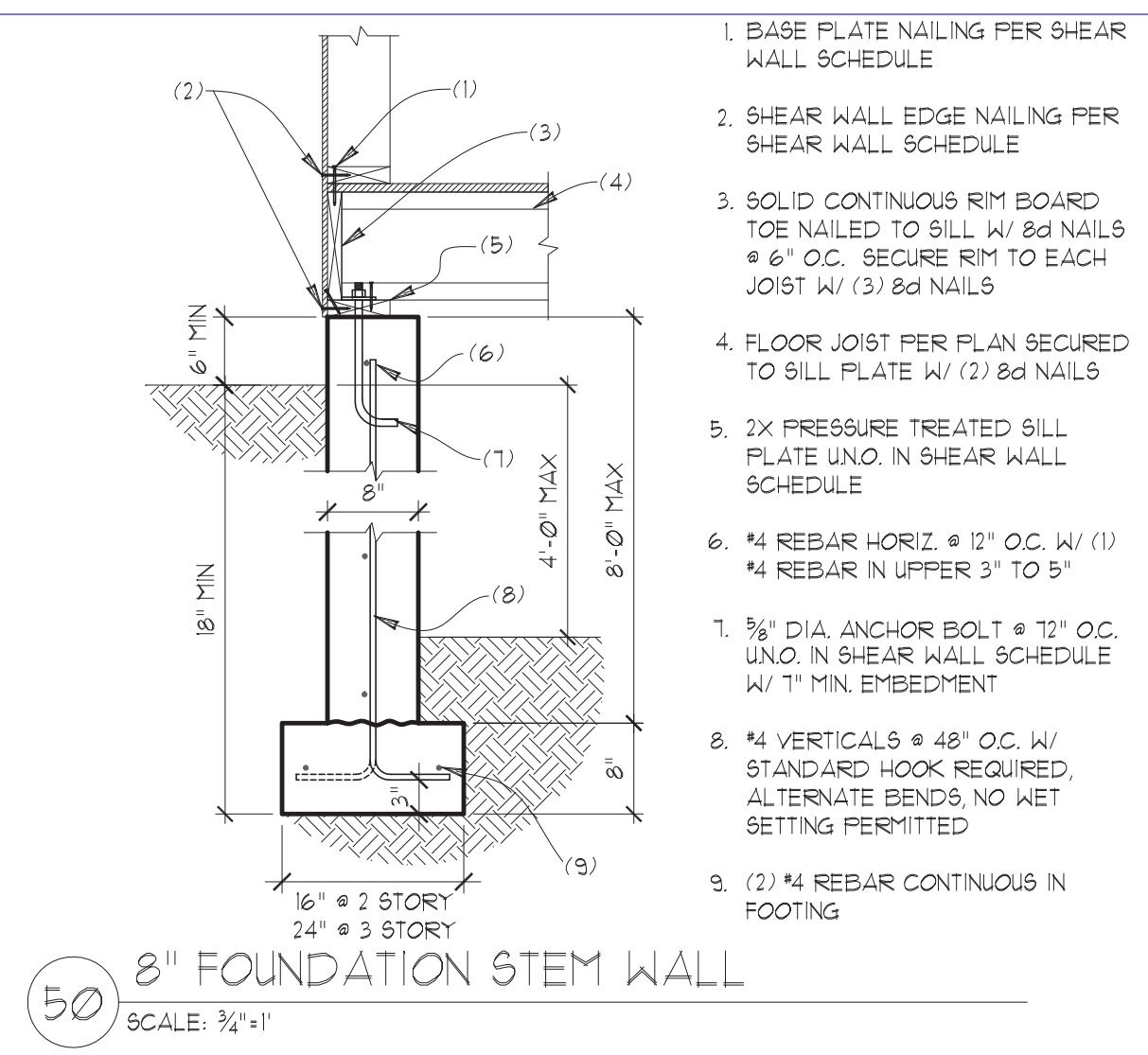
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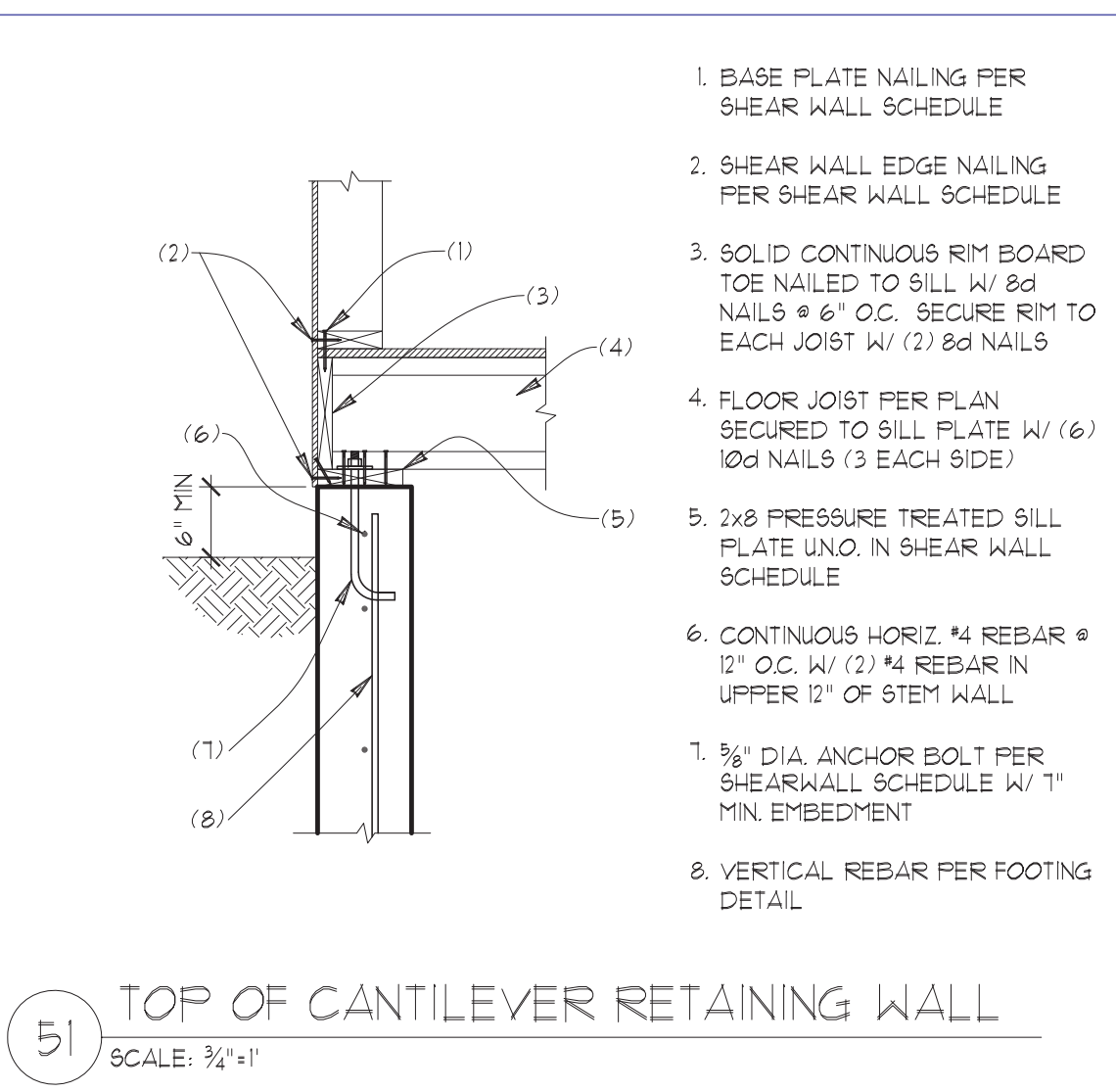
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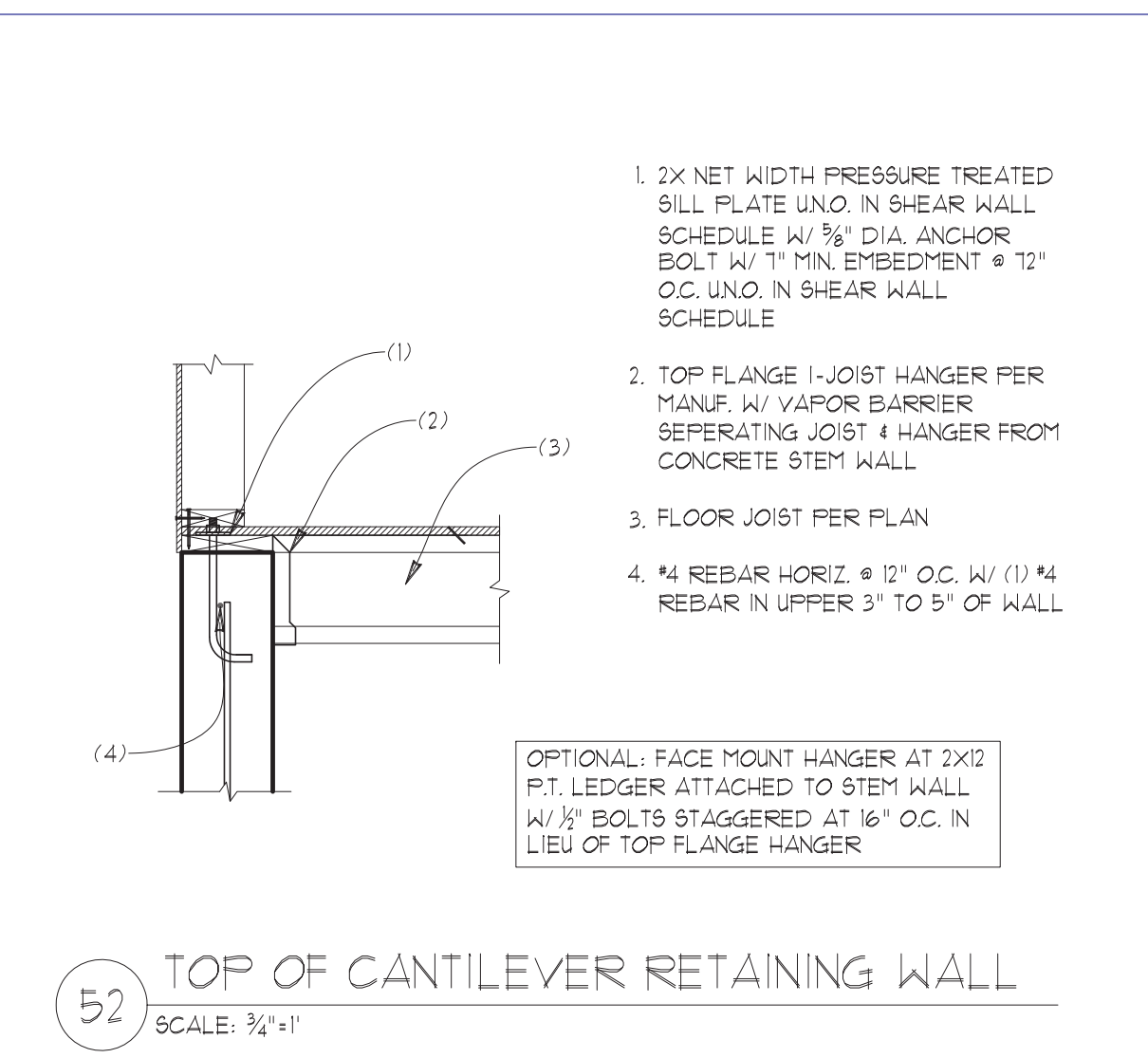
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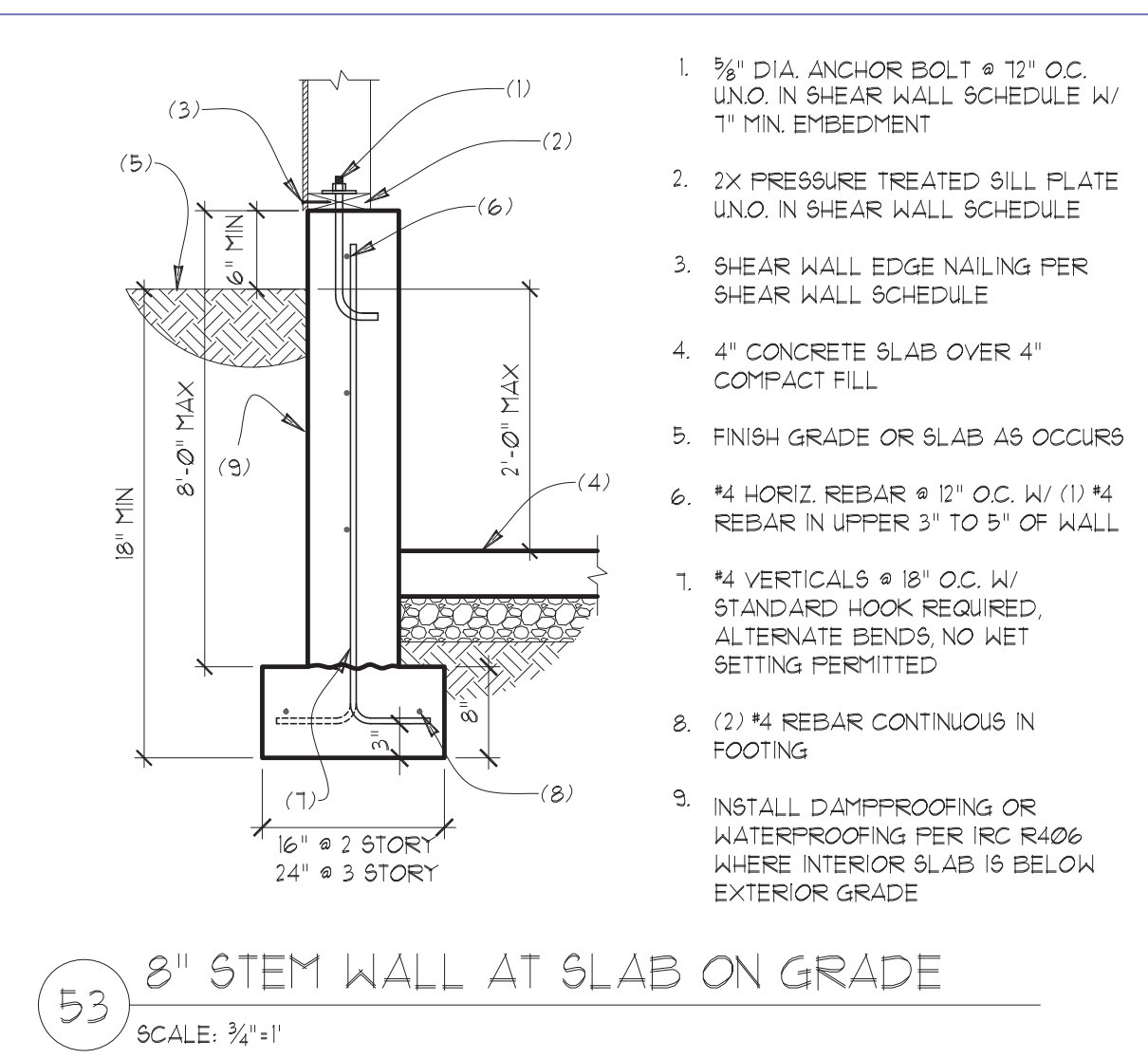
50 8" FOUNDATION STEM WALL
SCALE: 3/4"=1'



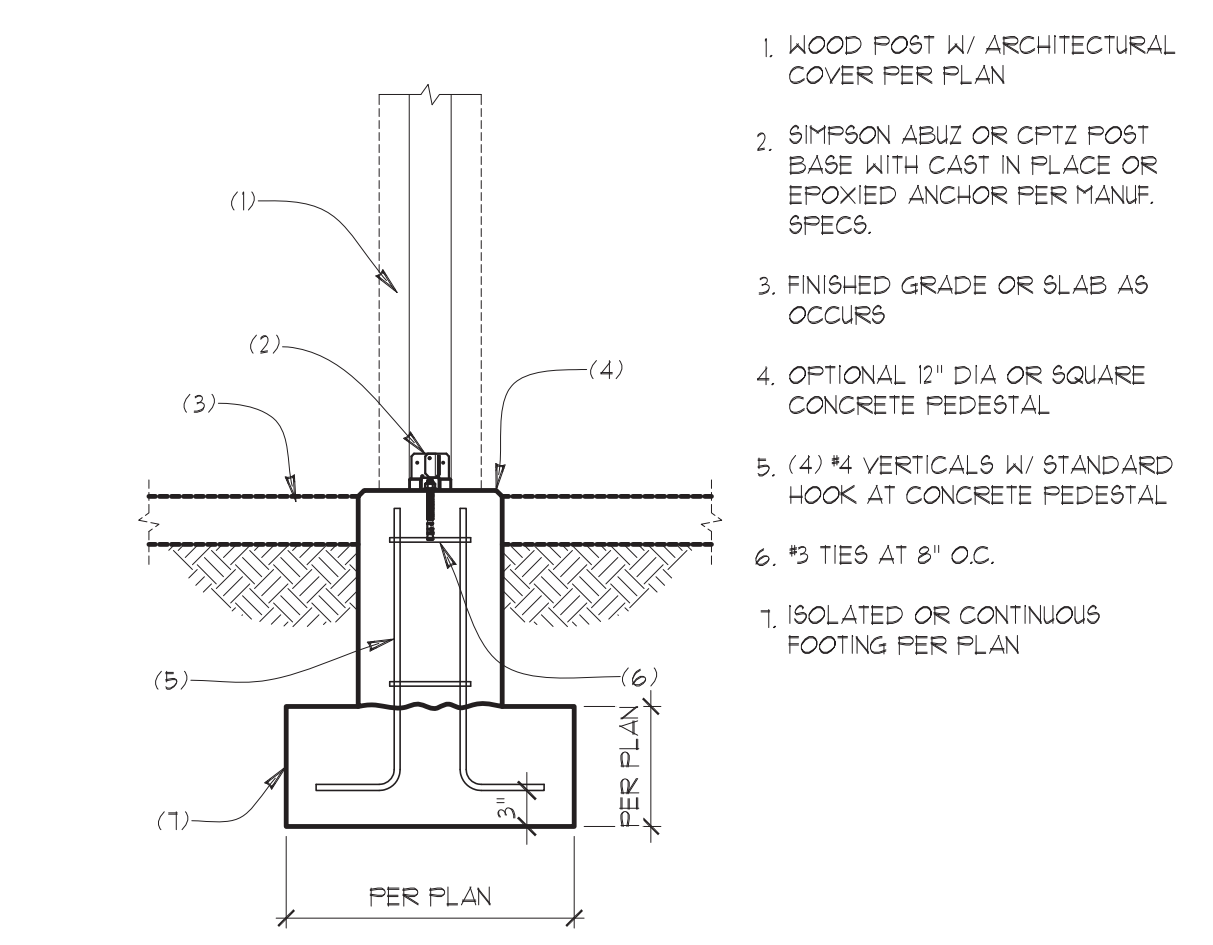
51 TOP OF CANTILEVER RETAINING WALL
SCALE: 3/4"=1'



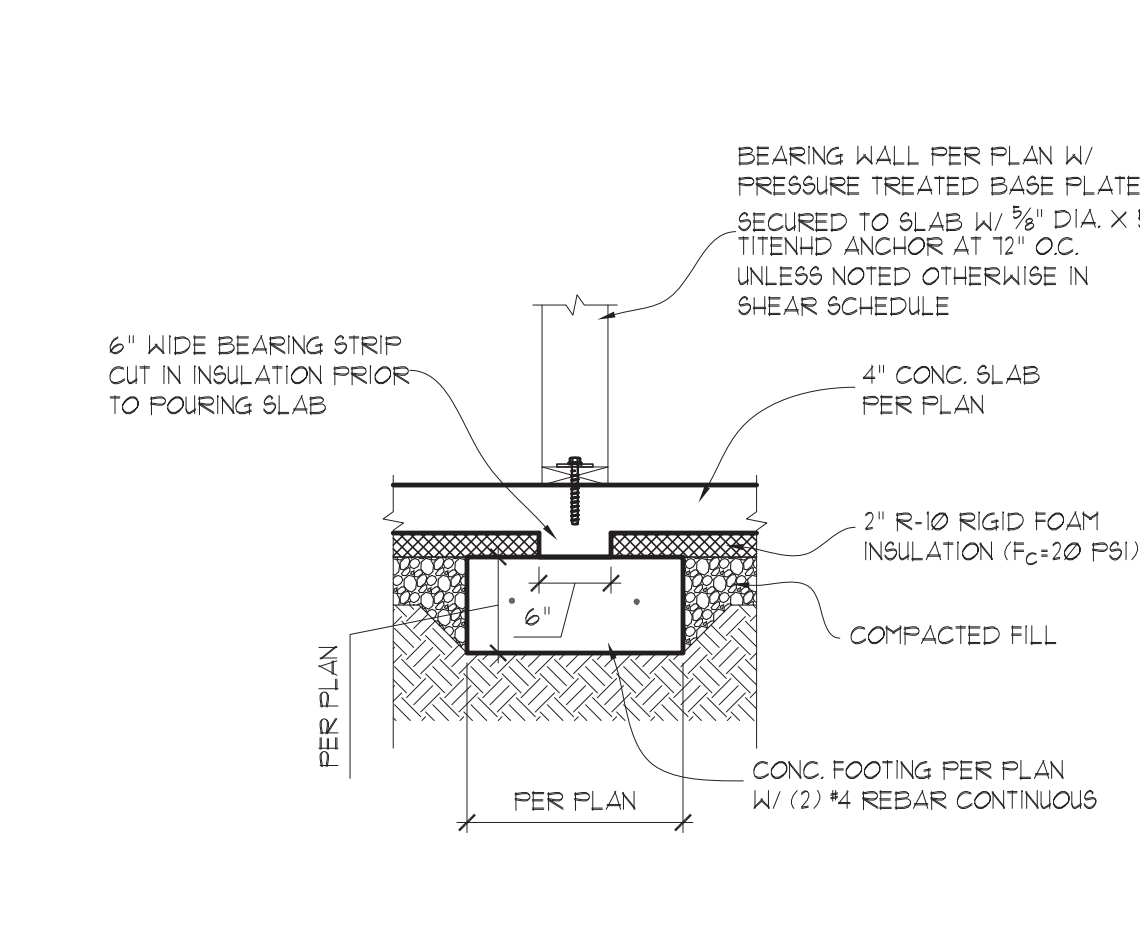
52 TOP OF CANTILEVER RETAINING WALL
SCALE: 3/4"=1'



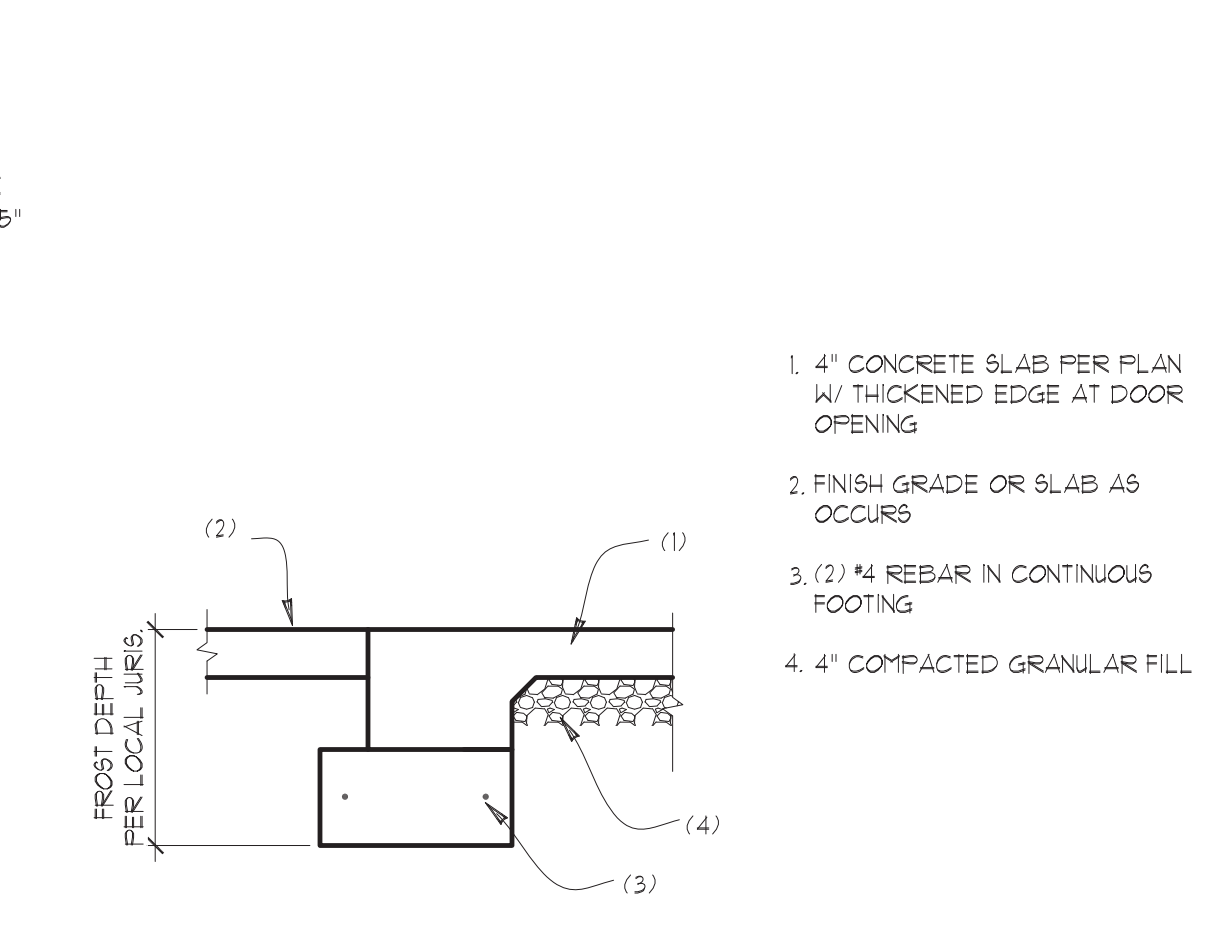
53 8" STEM WALL AT SLAB ON GRADE
SCALE: 3/4"=1'



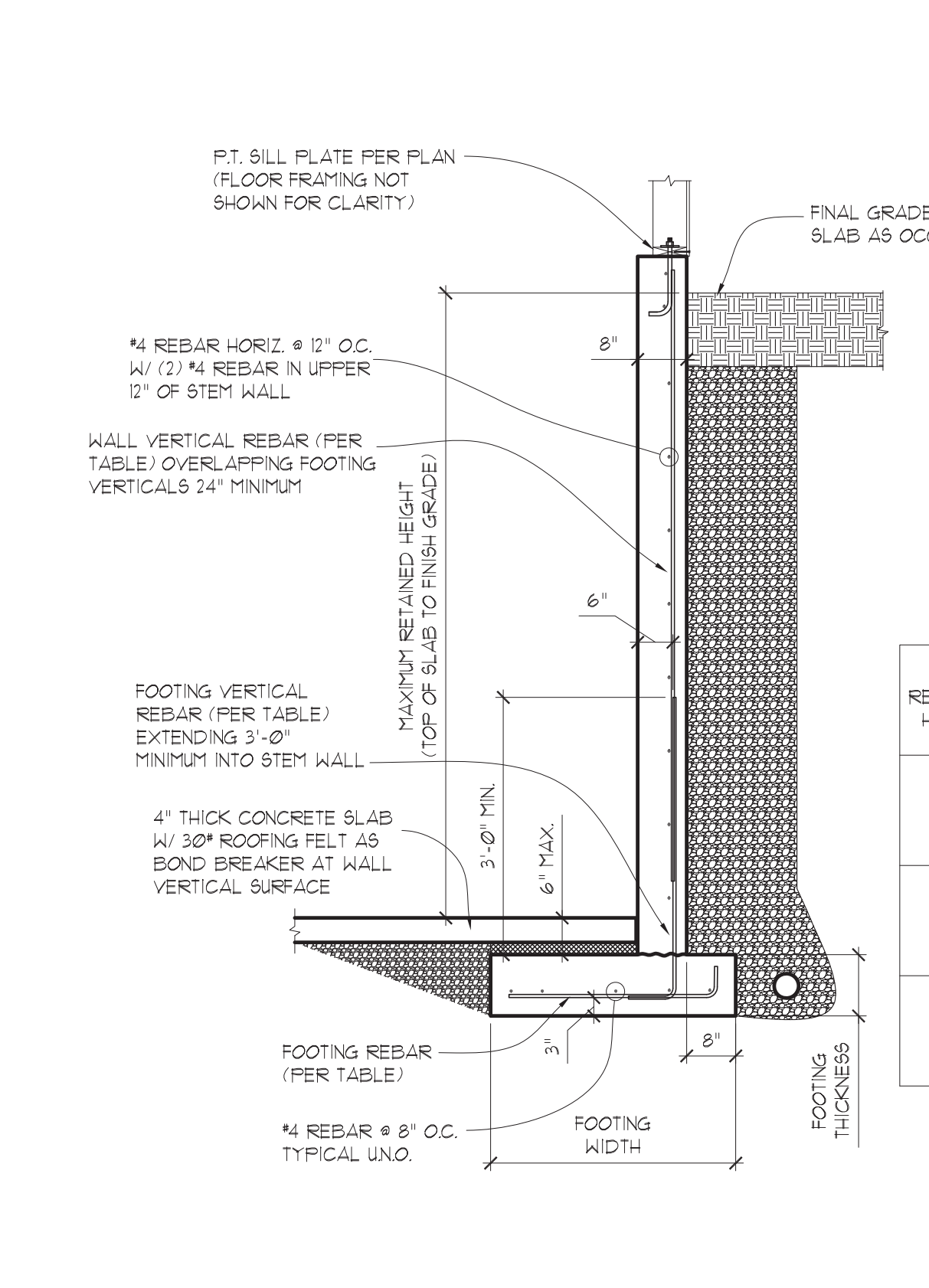
54 FOOTING AT WOOD COLUMN
SCALE: 3/4"=1'



55 INTERIOR STRIP FOOTING
SCALE: 3/4"=1'



56 THICKENED SLAB EDGE AT GARAGE
SCALE: 3/4"=1'



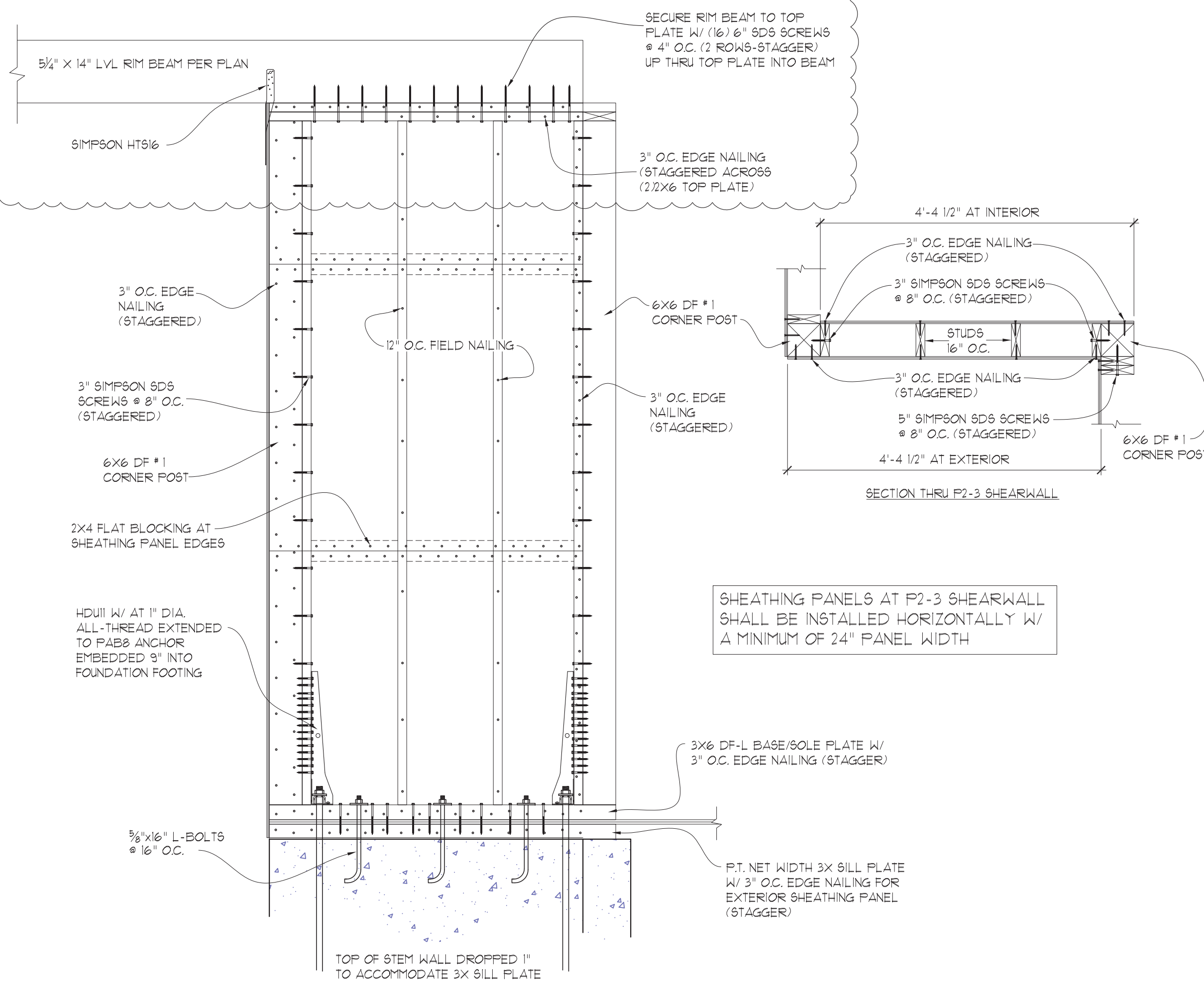
57 CANTILEVER RETAINING WALL
SCALE: 1/2"=1'

DESIGN CRITERIA:

- 2500 PSF ALLOWABLE SOIL BEARING PRESSURE
- 35 PPF ACTIVE EARTH PRESSURE
- 300 PCF PASSIVE EARTH PRESSURE
- 0.40 COEFFICIENT OF FRICTION

BACKFILL FOUNDATION WALLS WITH 18" OF PROPERLY COMPACTED GRANULAR FILL CONTAINING LESS THAN 5% FINES, TO WITHIN 12" OF FINAL GRADE (COMPACT TO 95% OF MAX DRY DENSITY PER MODIFIED PROCTOR METHOD).
INSTALL 4" DIA. PERFORATED SMOOTH PVC FOOTING DRAINS ALONG THE BASE OF THE DRAINAGE ZONE BEHIND THE WALL TO DIRECT ANY ACCUMULATED WATER TO AN APPROPRIATE DISCHARGE. A NONWOVEN GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN THE DRAINAGE MATERIAL AND THE REMAINING WALL BACKFILL. FILTER FABRIC SHALL EXTEND OVER THE TOP OF THE DRAINAGE MATERIAL.

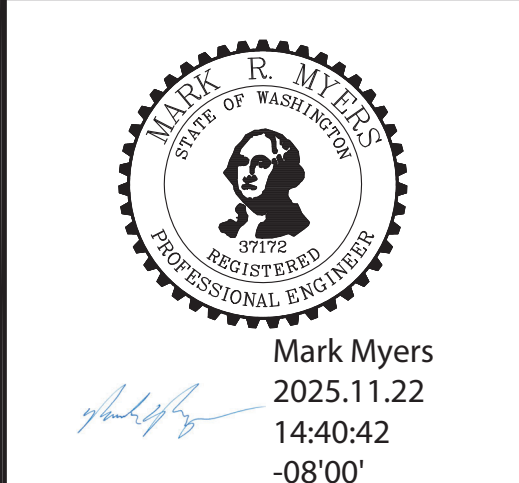
RETAINED HEIGHT	FOOTING WIDTH	FOOTING VERTICAL REBAR	FOOTING REBAR	WALL VERTICAL REBAR	FOOTING THICKNESS
5'-0"	2'-6"	#4 REBAR @ 10" O.C.	#4 REBAR @ 10" O.C.	#4 REBAR @ 10" O.C.	10"
7'-0"	3'-10"	#4 REBAR @ 5" O.C.	#4 REBAR @ 10" O.C.	#4 REBAR @ 10" O.C.	10"
9'-0"	5'-8"	#5 REBAR @ 5" O.C.	#5 REBAR @ 10" O.C.	#4 REBAR @ 10" O.C.	12"



H5 P2-3 SHEARWALL FRAMING
SCALE: 3/4"=1'

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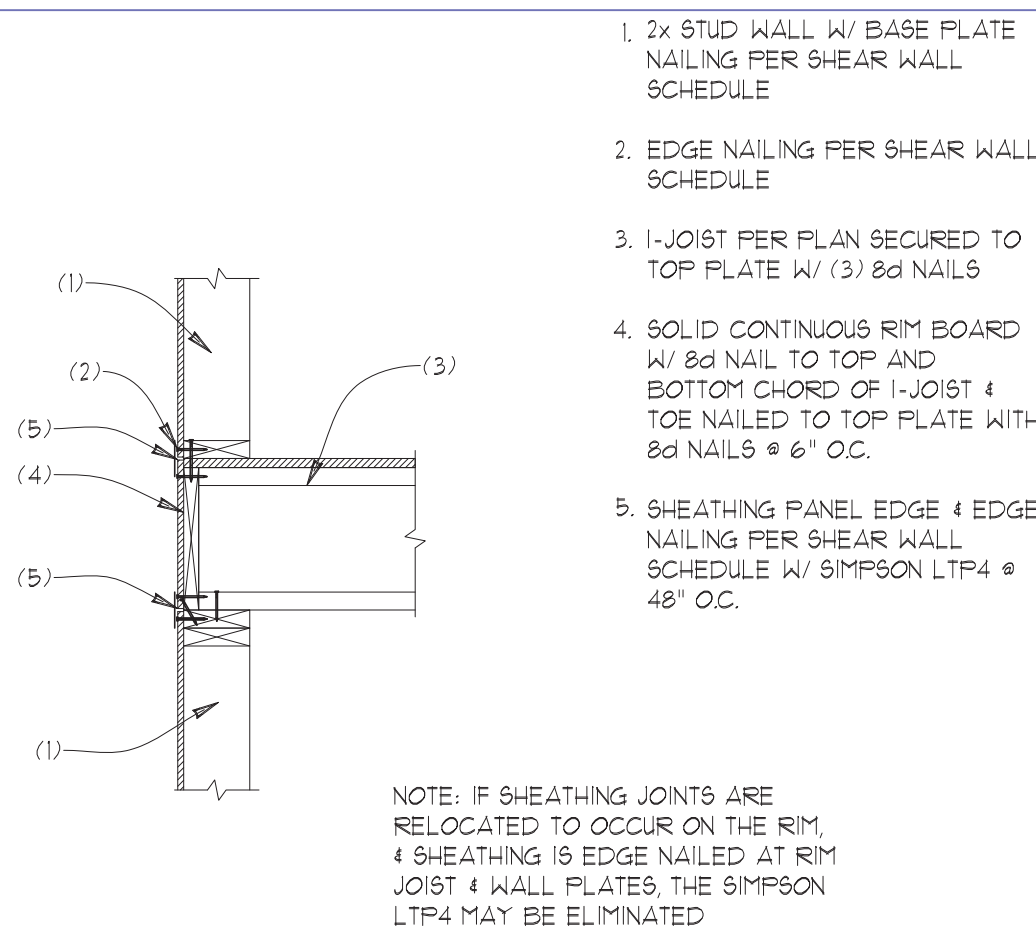
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COVID PATIO REV	MM	10-28-2025
REVIEW COMMENT	MM	11-22-2025

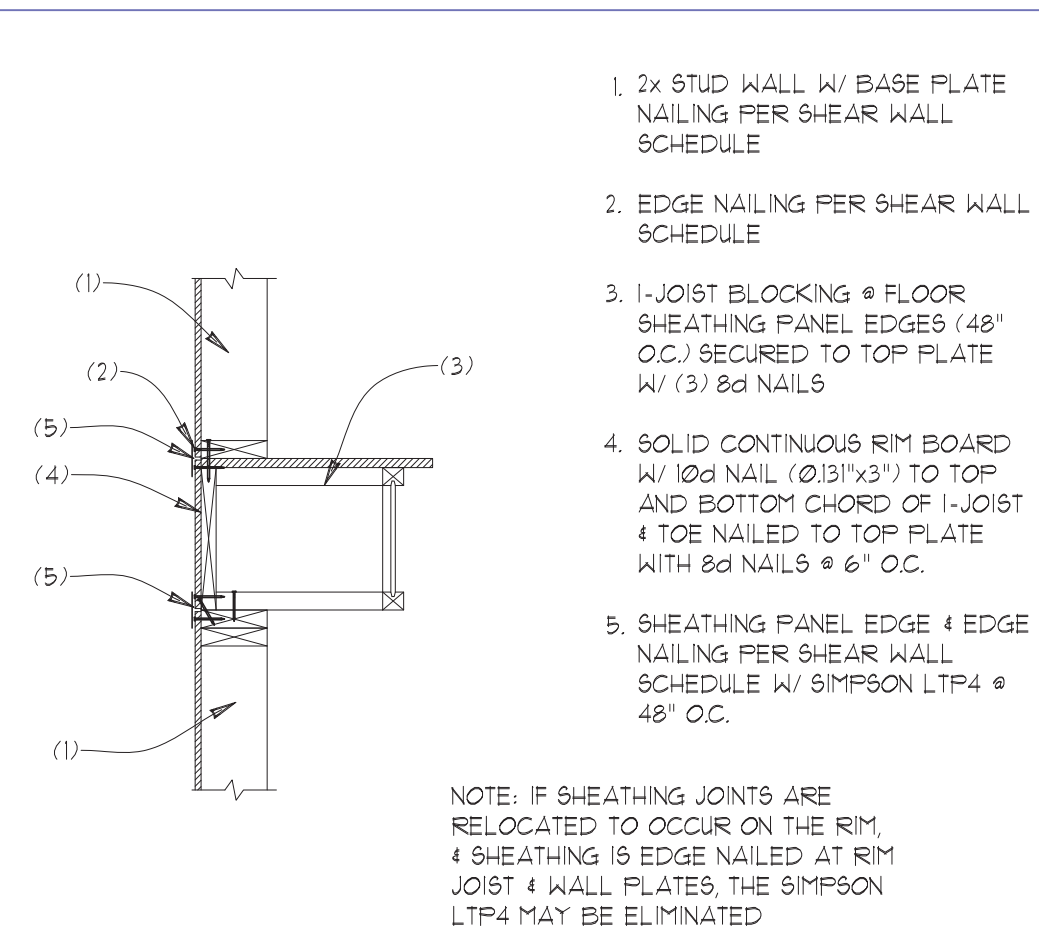
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PROJECT #: 2601



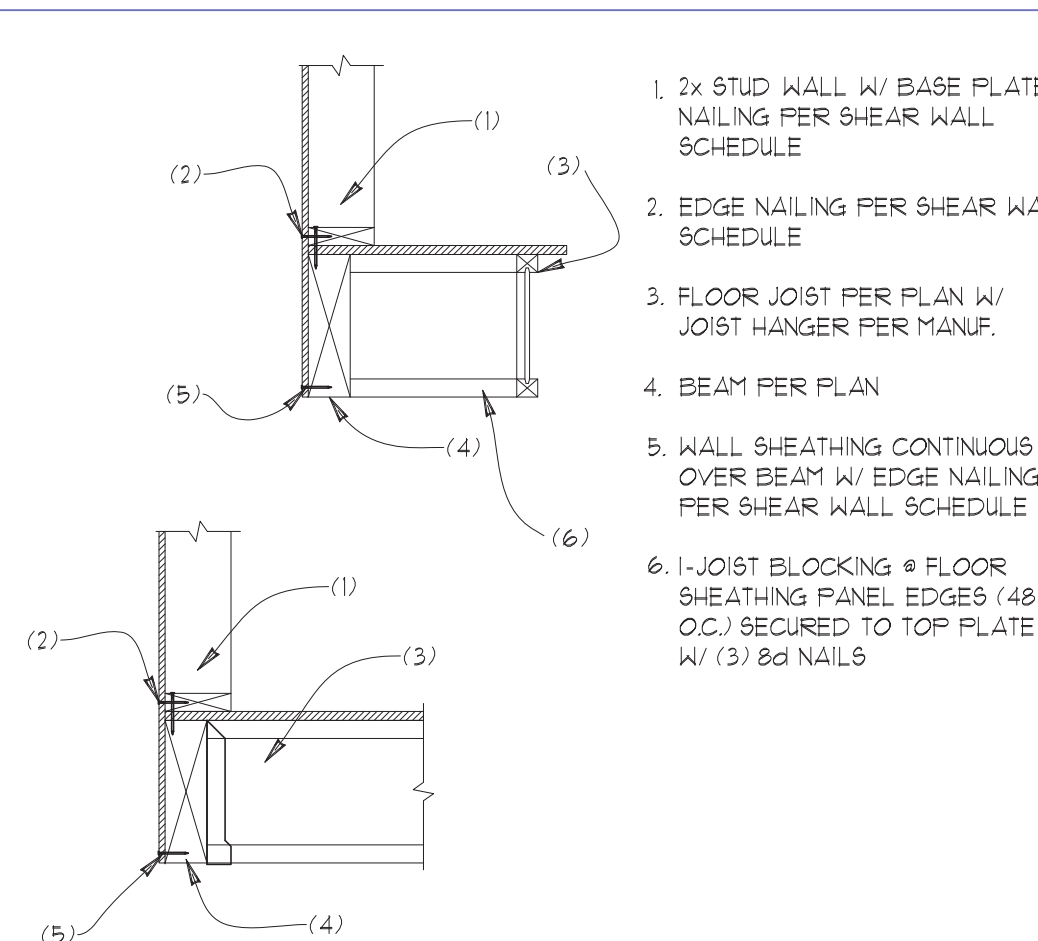
- 2x STUD WALL W/ BASE PLATE NAILING PER SHEAR WALL SCHEDULE
- EDGE NAILING PER SHEAR WALL SCHEDULE
- 1-JOIST PER PLAN SECURED TO TOP PLATE W/ (3) 8d NAILS
- SOLID CONTINUOUS RIM BOARD W/ 8d NAIL TO TOP AND BOTTOM CHORD OF 1-JOIST & TOE NAILED TO TOP PLATE WITH 8d NAILS @ 6" O.C.
- SHEATHING PANEL EDGE & EDGE NAILING PER SHEAR WALL SCHEDULE W/ SIMPSON LTP4 @ 48" O.C.

NOTE: IF SHEATHING JOINTS ARE RELOCATED TO OCCUR ON THE RIM, SHEATHING IS EDGE NAILED AT RIM JOIST & WALL FLATES, THE SIMPSON LTP4 MAY BE ELIMINATED

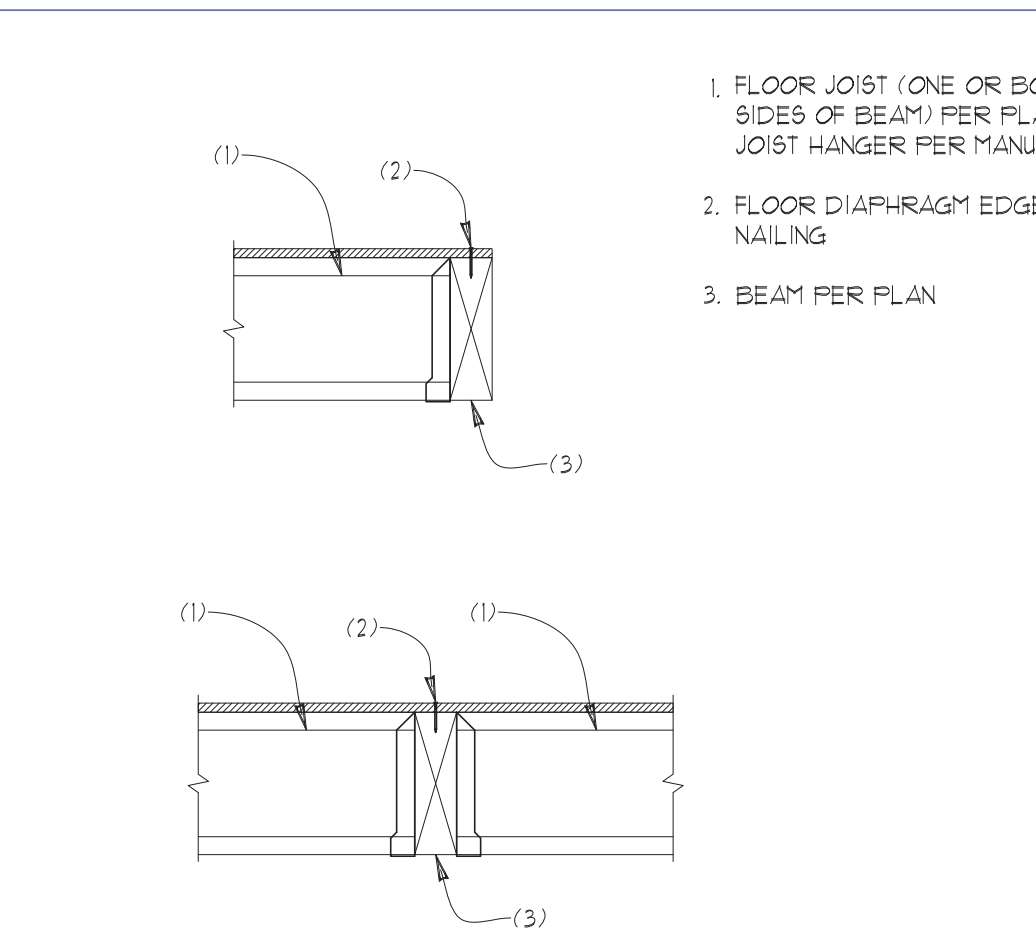


- 2x STUD WALL W/ BASE PLATE NAILING PER SHEAR WALL SCHEDULE
- EDGE NAILING PER SHEAR WALL SCHEDULE
- 1-JOIST BLOCKING @ FLOOR SHEATHING PANEL EDGES (48" O.C.) SECURED TO TOP PLATE W/ (3) 8d NAILS
- SOLID CONTINUOUS RIM BOARD W/ 10d NAIL (Ø13"x3") TO TOP AND BOTTOM CHORD OF 1-JOIST & TOE NAILED TO TOP PLATE WITH 8d NAILS @ 6" O.C.
- SHEATHING PANEL EDGE & EDGE NAILING PER SHEAR WALL SCHEDULE W/ SIMPSON LTP4 @ 48" O.C.

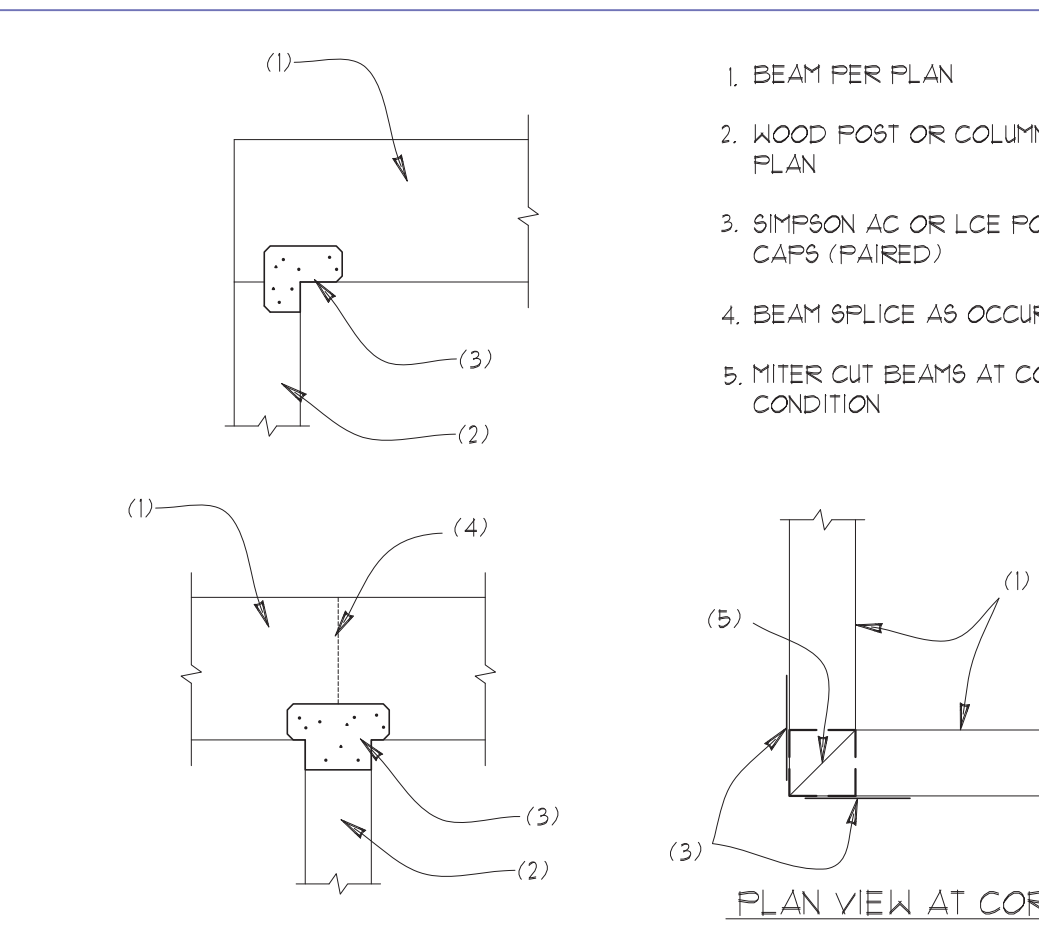
NOTE: IF SHEATHING JOINTS ARE RELOCATED TO OCCUR ON THE RIM, SHEATHING IS EDGE NAILED AT RIM JOIST & WALL FLATES, THE SIMPSON LTP4 MAY BE ELIMINATED



- 2x STUD WALL W/ BASE PLATE NAILING PER SHEAR WALL SCHEDULE
- EDGE NAILING PER SHEAR WALL SCHEDULE
- FLOOR JOIST PER PLAN W/ JOIST HANGER PER MANUF.
- BEAM PER PLAN
- WALL SHEATHING CONTINUOUS OVER BEAM W/ EDGE NAILING PER SHEAR WALL SCHEDULE
- 1-JOIST BLOCKING @ FLOOR SHEATHING PANEL EDGES (48" O.C.) SECURED TO TOP PLATE W/ (3) 8d NAILS



- FLOOR JOIST (ONE OR BOTH SIDES OF BEAM) PER PLAN W/ JOIST HANGER PER MANUF.
- FLOOR DIAPHRAGM EDGE NAILING
- BEAM PER PLAN



- BEAM PER PLAN
- WOOD POST OR COLUMN PER PLAN
- SIMPSON AC OR LCE POST CAPS (PAIRED)
- BEAM SPLICE AS OCCURS
- MITER CUT BEAMS AT CORNER CONDITION

PLAN VIEW AT CORNER

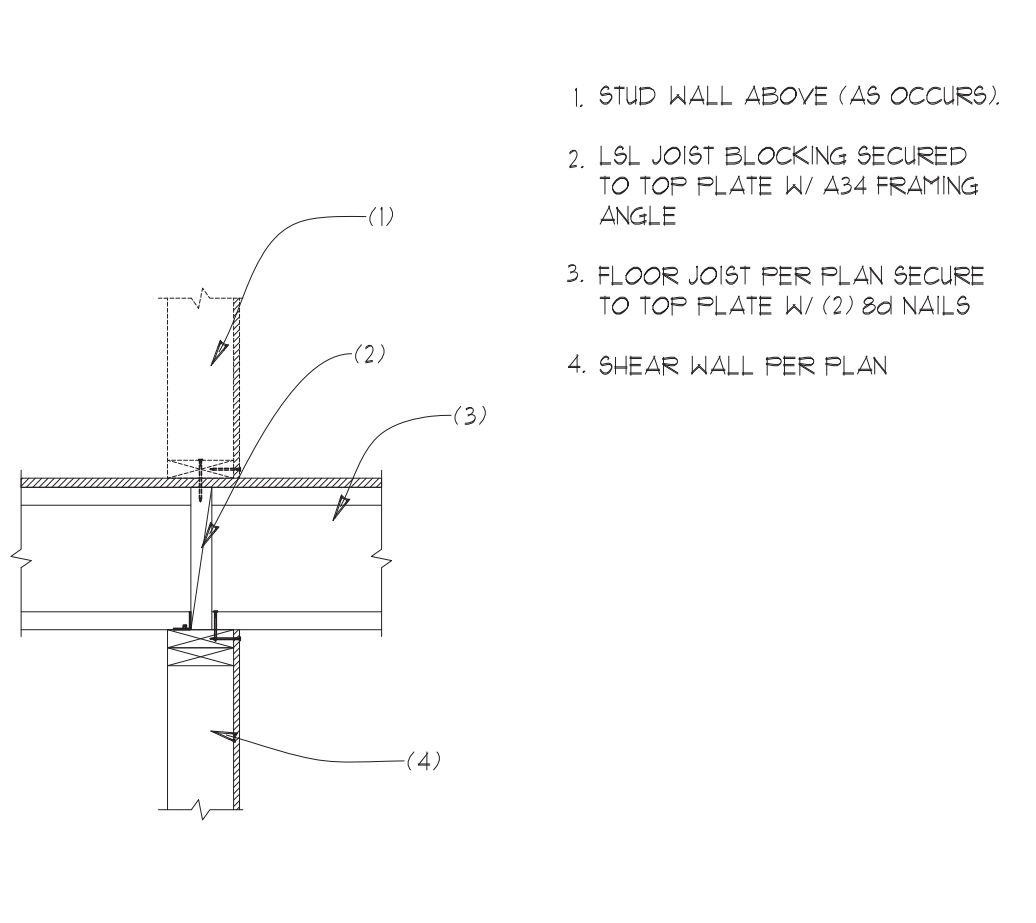
60 FLOOR JOIST BEARING AT STUD WALL
SCALE: 3/4"=1'

61 FLOOR JOIST PARALLEL TO STUD WALL
SCALE: 3/4"=1'

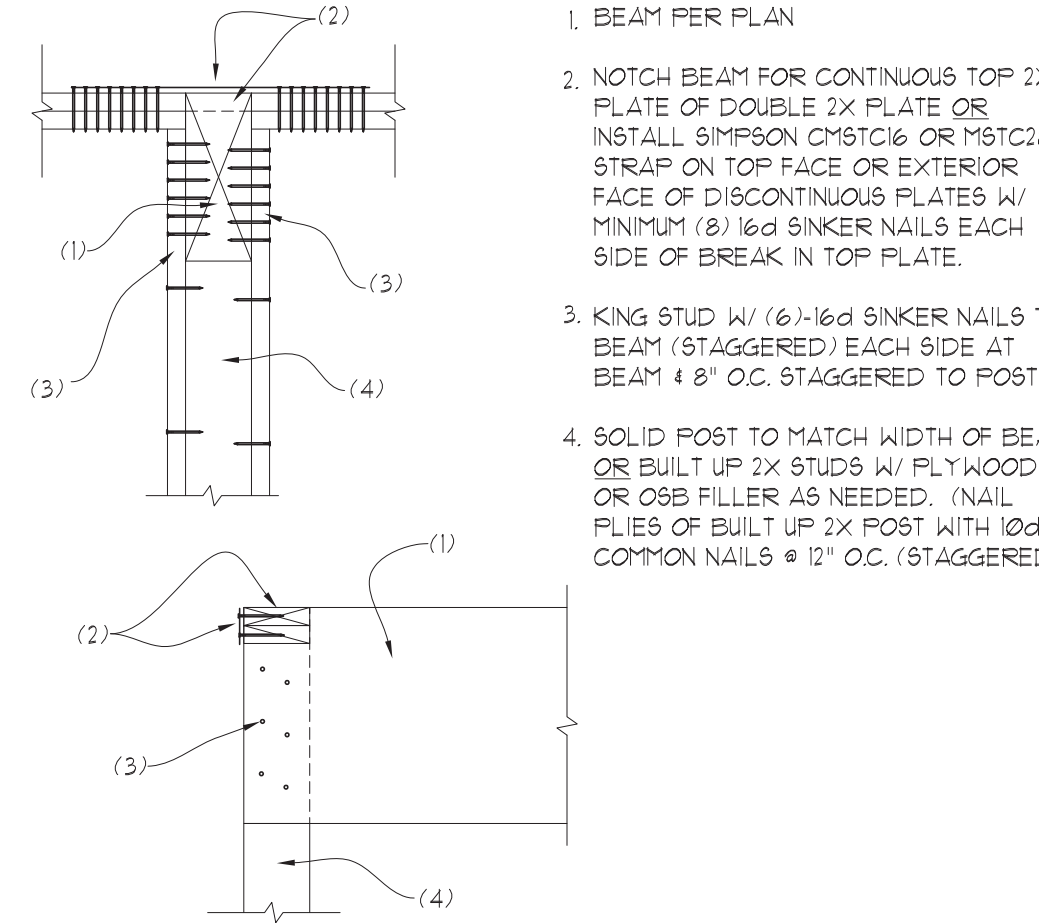
62 FLOOR JOIST AT BEAM
SCALE: 3/4"=1'

63 FLOOR JOIST AT BEAM
SCALE: 3/4"=1'

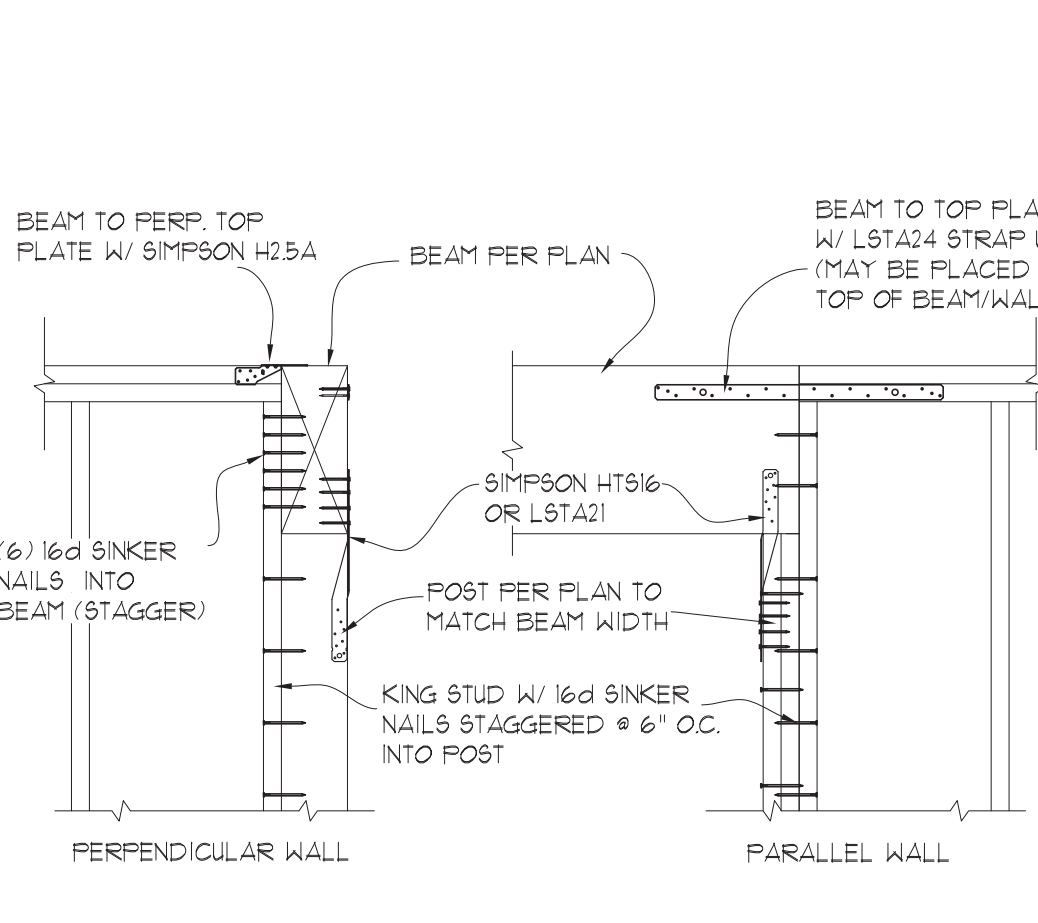
64 WOOD BEAM AT WOOD POST
SCALE: 3/4"=1'



- STUD WALL ABOVE (AS OCCURS).
- LSL JOIST BLOCKING SECURED TO TOP PLATE W/ A34 FRAMING ANGLE
- FLOOR JOIST PER PLAN SECURE TO TOP PLATE W/ (2) 8d NAILS
- SHEAR WALL PER PLAN

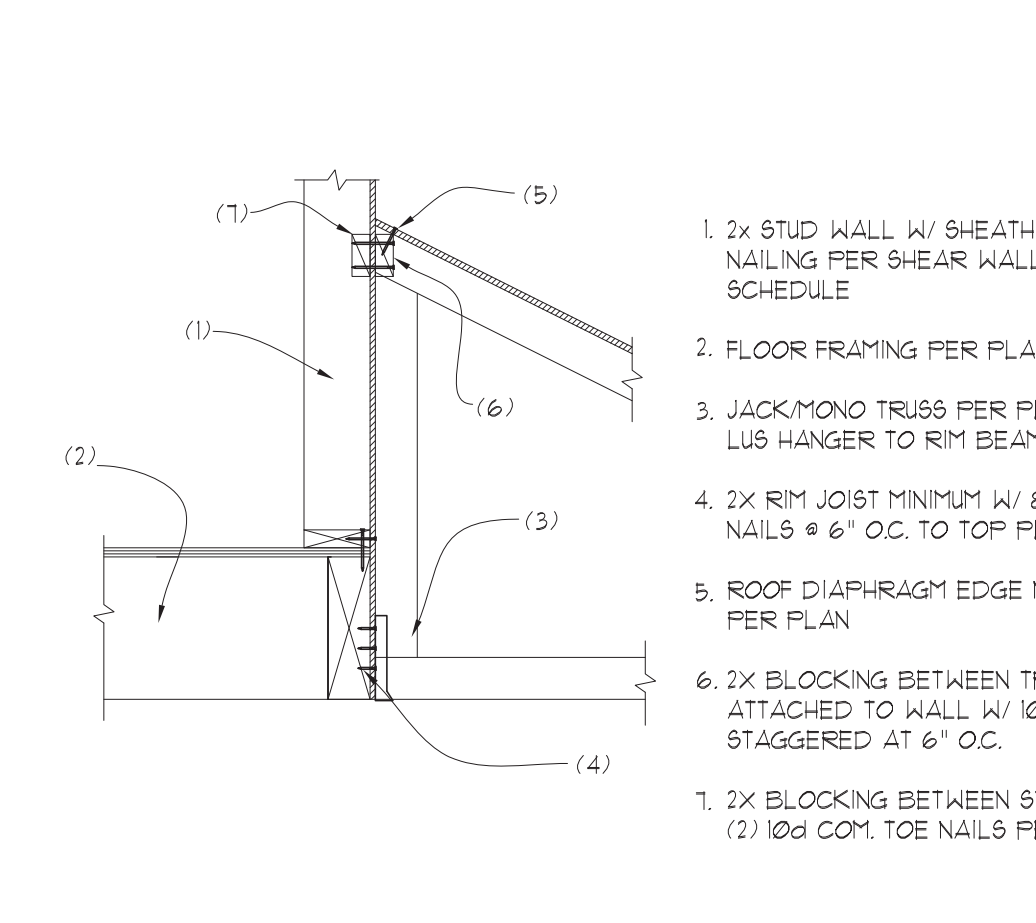


- BEAM PER PLAN
- NOTCH BEAM FOR CONTINUOUS TOP 2X PLATE OF DOUBLE 2X PLATE OR INSTALL SIMPSON CHT316 OR H151C128 STRAP ON TOP FACE OR EXTERIOR FACE OF DISCONTINUOUS PLATES W/ MINIMUM (8) 16d SINKER NAILS EACH SIDE OF BREAK IN TOP PLATE.
- KING STUD W/ (6) 16d SINKER NAILS TO BEAM (STAGGERED) EACH SIDE AT BEAM & 8" O.C. STAGGERED TO POST
- SOLID POST TO MATCH WIDTH OF BEAM OR BUILT UP 2x STUDS W/ PLYWOOD OR OSB FILLER AS NEEDED. (NAIL FLIES OF BUILT UP 2x POST WITH 10d COMMON NAILS @ 12" O.C. (STAGGERED))

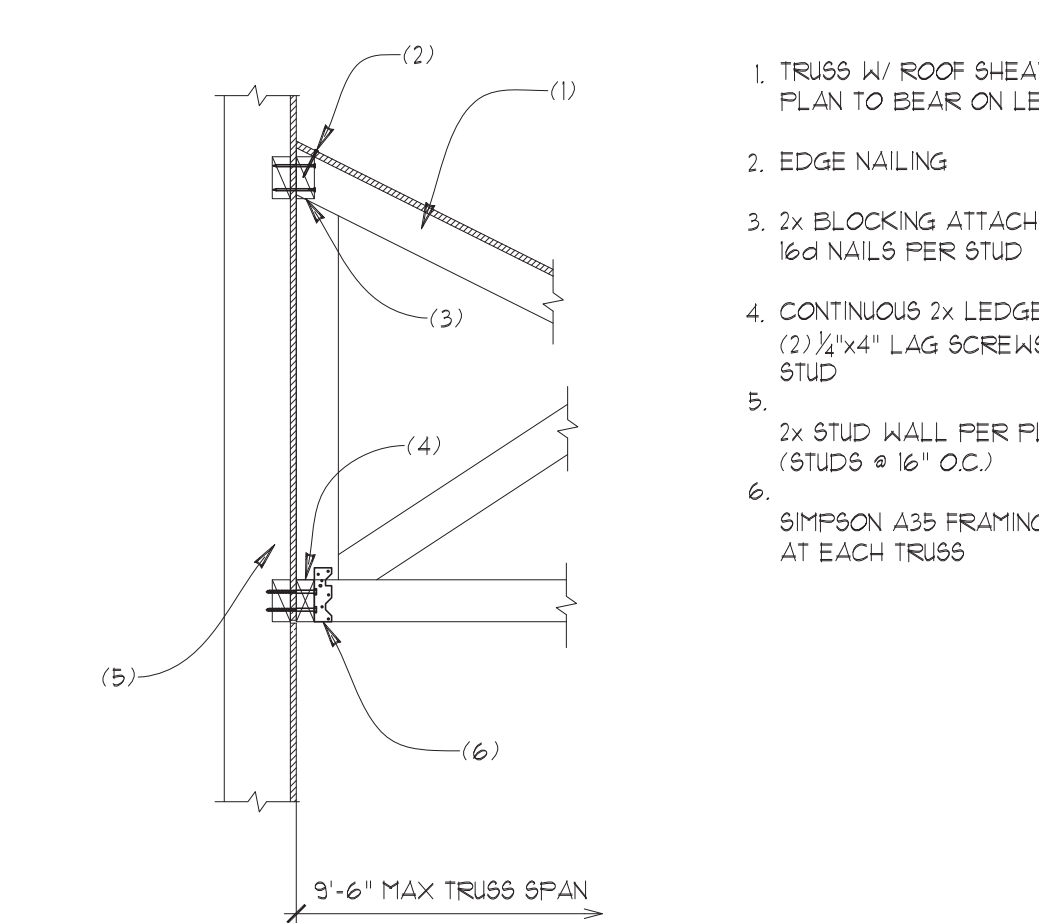


- BEAM TO PERP. TOP PLATE W/ SIMPSON H25A
- BEAM PER PLAN
- BEAM TO TOP PLATE W/ LSTA24 STRAP UNO. (MAY BE PLACED ON TOP OF BEAM/WALL)
- (6) 16d SINKER NAILS INTO BEAM (STAGGER)
- SIMPSON H916 OR LSTA21
- POST PER PLAN TO MATCH BEAM WIDTH
- KING STUD W/ 16d SINKER NAILS STAGGERED @ 6" O.C. INTO POST

PERPENDICULAR WALL PARALLEL WALL



- 2x STUD WALL W/ SHEATHING & NAILING PER SHEAR WALL SCHEDULE
- FLOOR FRAMING PER PLAN
- JACK/MONO TRUSS PER PLAN W/ LUS HANGER TO RIM BEAM
- 2x RIM JOIST MINIMUM W/ 8d TOE NAILS @ 6" O.C. TO TOP PLATE
- ROOF DIAPHRAGM EDGE NAILING PER PLAN
- 2x BLOCKING BETWEEN TRUSSES ATTACHED TO WALL W/ 10d NAILS STAGGERED AT 6" O.C.
- 2x BLOCKING BETWEEN STUDS W/ (2) 10d COM. TOE NAILS PER STUD



- TRUSS W/ ROOF SHEATHING PER PLAN TO BEAR ON LEDGER
- EDGE NAILING
- 2x BLOCKING ATTACHED W/ (2) 16d NAILS PER STUD
- CONTINUOUS 2x LEDGER W/ (2) 2"x4" LAG SCREWS PER STUD
- 2x STUD WALL PER PLAN (STUDS @ 16" O.C.)
- SIMPSON A35 FRAMING ANGLE AT EACH TRUSS

9'-6" MAX TRUSS SPAN

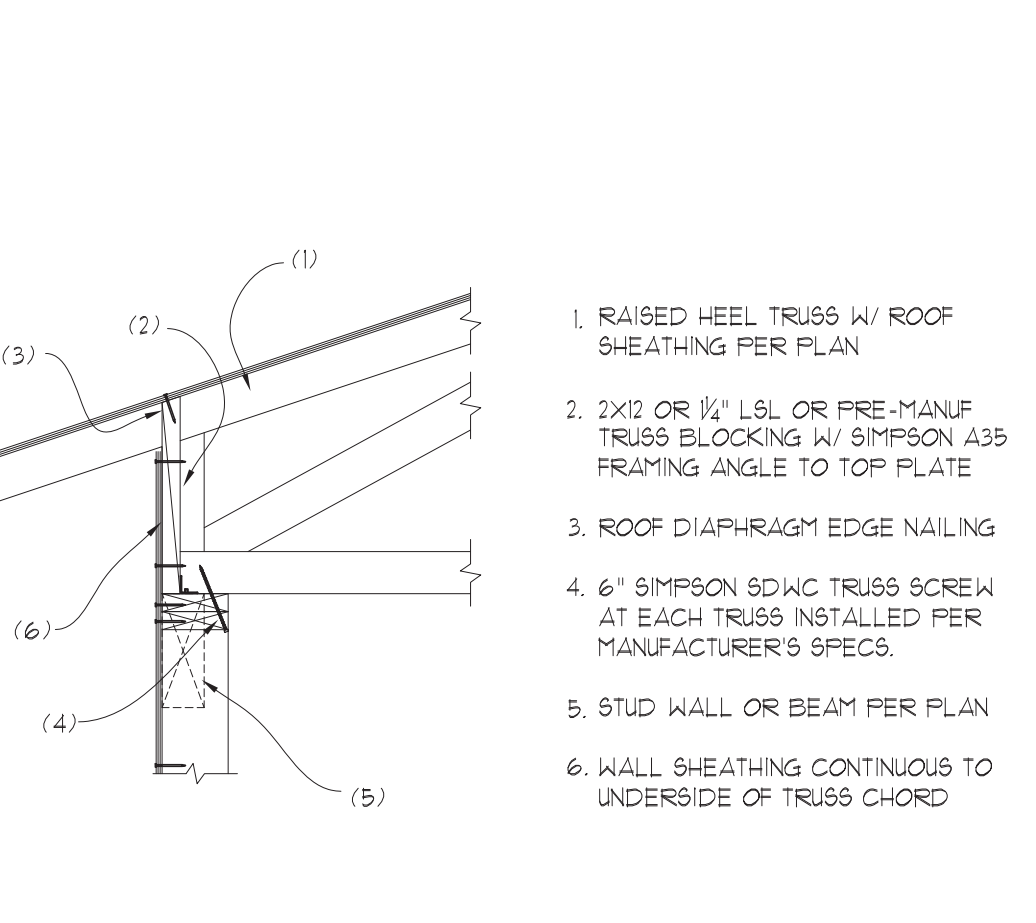
69 MONO TRUSS TO WALL
SCALE: 3/4"=1'

65 FLOOR JOIST AT INT. WALL OR BEAM
SCALE: 3/4"=1'

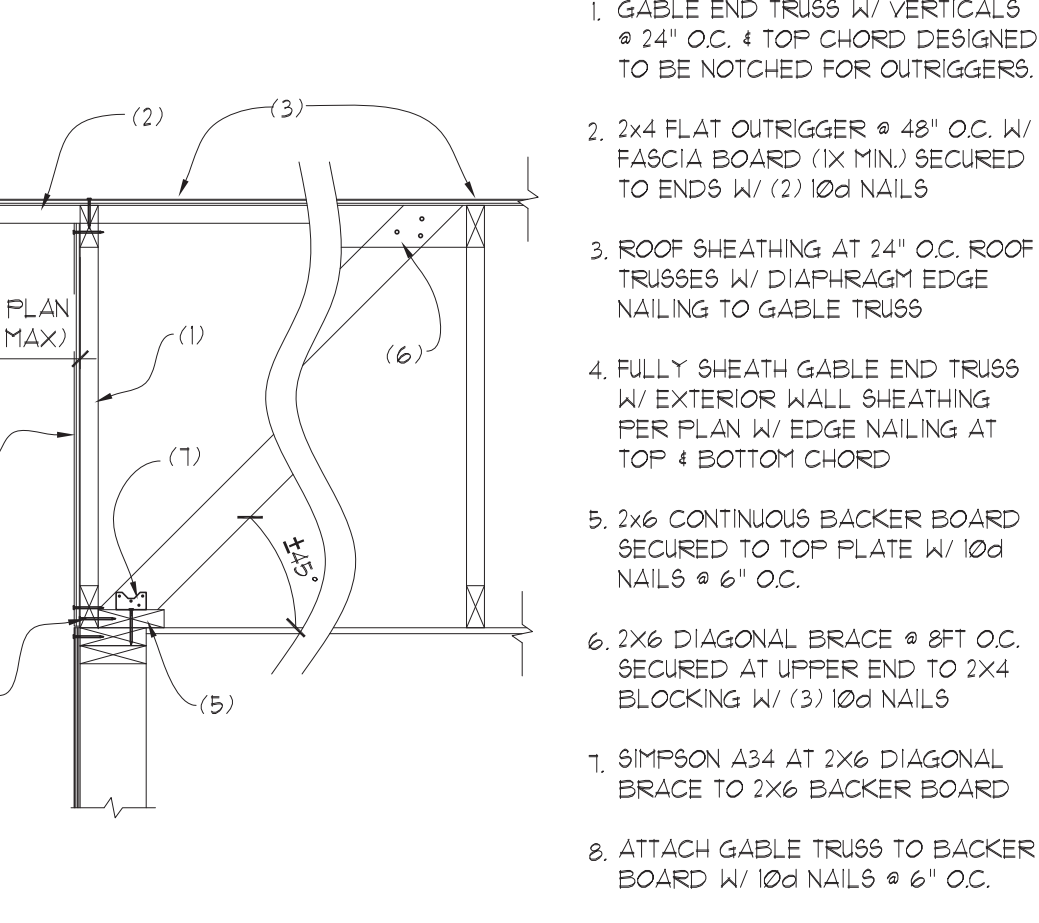
66 BEAM POCKET AT WALL
SCALE: 3/4"=1'

67 BEAM POCKET AT CORNER
SCALE: 3/4"=1'

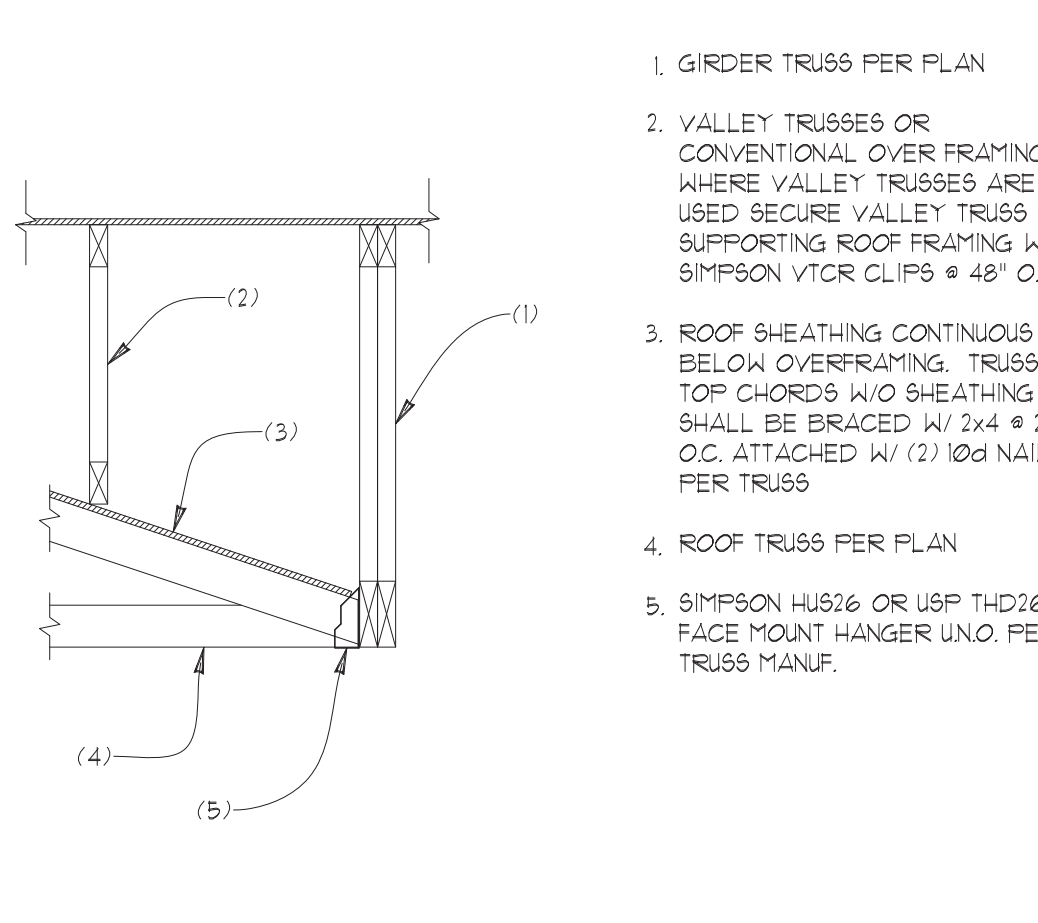
68 MONO/JACK TRUSS TO RIM BEAM
SCALE: 3/4"=1'



- RAISED HEEL TRUSS W/ ROOF SHEATHING PER PLAN
- 2"x12 OR 1 1/2" LSL OR PRE-MANUF TRUSS BLOCKING W/ SIMPSON A35 FRAMING ANGLE TO TOP PLATE
- ROOF DIAPHRAGM EDGE NAILING
- 6" SIMPSON SDWC TRUSS SCREW AT EACH TRUSS INSTALLED PER MANUFACTURER'S SPECS.
- STUD WALL OR BEAM PER PLAN
- WALL SHEATHING CONTINUOUS TO UNDERSIDE OF TRUSS CHORD

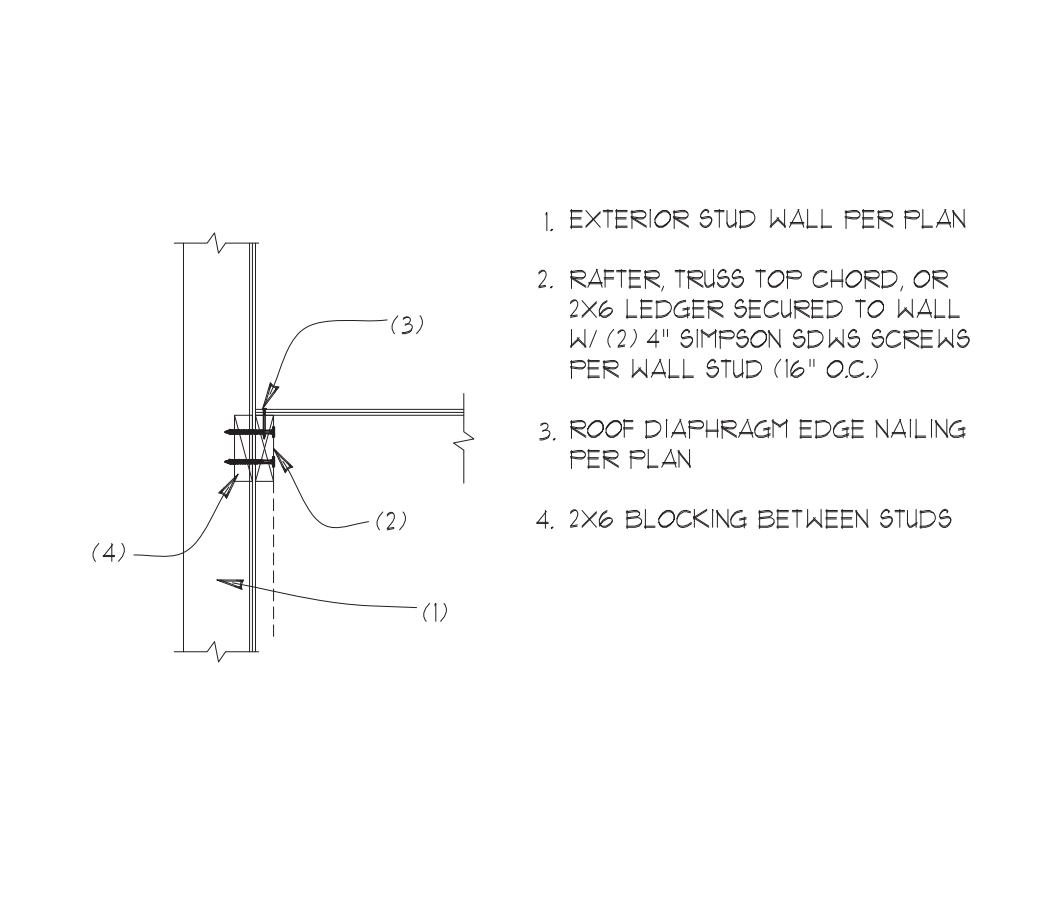


- GABLE END TRUSS W/ VERTICALS @ 24" O.C. & TOP CHORD DESIGNED TO BE NOTCHED FOR OUTRIGGERS.
- 2x4 FLAT OUTRIGGER @ 48" O.C. W/ FASCIA BOARD (1X MIN) SECURED TO ENDS W/ (2) 10d NAILS
- ROOF SHEATHING AT 24" O.C. ROOF TRUSSES W/ DIAPHRAGM EDGE NAILING TO GABLE TRUSS
- FULLY SHEATH GABLE END TRUSS W/ EXTERIOR WALL SHEATHING PER PLAN W/ DIAPHRAGM EDGE NAILING AT TOP & BOTTOM CHORD
- 2x6 CONTINUOUS BACKER BOARD SECURED TO TOP PLATE W/ 10d NAILS @ 6" O.C.
- 2x6 DIAGONAL BRACE @ 8ft O.C. SECURED AT UPPER END TO 2x4 BLOCKING W/ (3) 10d NAILS
- SIMPSON A34 AT 2x6 DIAGONAL BRACE TO 2x6 BACKER BOARD
- ATTACH GABLE TRUSS TO BACKER BOARD W/ 10d NAILS @ 6" O.C.



- GIRDER TRUSS PER PLAN
- VALLEY TRUSSES OR CONVENTIONAL OVER FRAMING WHERE VALLEY TRUSSES ARE USED SECURE VALLEY TRUSS TO SUPPORTING ROOF FRAMING W/ SIMPSON V1CR CLIPS @ 48" O.C.
- ROOF SHEATHING CONTINUOUS BELOW OVERFRAMING. TRUSS TOP CHORDS W/O SHEATHING SHALL BE BRACED W/ 2x4 @ 24" O.C. ATTACHED W/ (2) 10d NAILS PER TRUSS
- ROOF TRUSS PER PLAN
- SIMPSON HUS26 OR USP THD26 FACE MOUNT HANGER UNO. PER TRUSS MANUF.

FOR RAFTER SPANS BELOW USE THE FOLLOWING SIZES:
0'-0" TO 6'-1" 2x4
6'-0" TO 9'-1" 2x6
9'-0" TO 12'-1" 2x8
12'-0" TO 14'-10" 2x10
14'-1" TO 17'-3" 2x12
(ASSUMES RAFTERS @ 24" O.C. LL+30PSF & DL+10PSF PER TABLE R202.5.1.3) FOR HF #2



- CONVENTIONAL 2x OVER FRAMING @ 24" O.C. W/ (4) 16d TOE NAILS TO VALLEY PLATE (SEE BELOW FOR RECOMMENDED SIZES BASED ON SPAN)
- EDGE NAILING
- 2x VALLEY BOARD TO MATCH RAFTER W/ (2) 16d NAILS PER TRUSS
- ROOF TRUSS TOP CHORD OR RAFTER PER PLAN
- CONTINUOUS SHEATHING BENEATH OVERFRAMING OR 2x4 BRACING @ 24" O.C. W/ 2-16d NAILS PER TRUSS.

- EXTERIOR STUD WALL PER PLAN
- RAFTER TRUSS TOP CHORD OR 2x6 LEDGER SECURED TO WALL W/ (2) 4" SIMPSON SDWS SCREWS PER WALL STUD (16" O.C.)
- ROOF DIAPHRAGM EDGE NAILING PER PLAN
- 2x6 BLOCKING BETWEEN STUDS

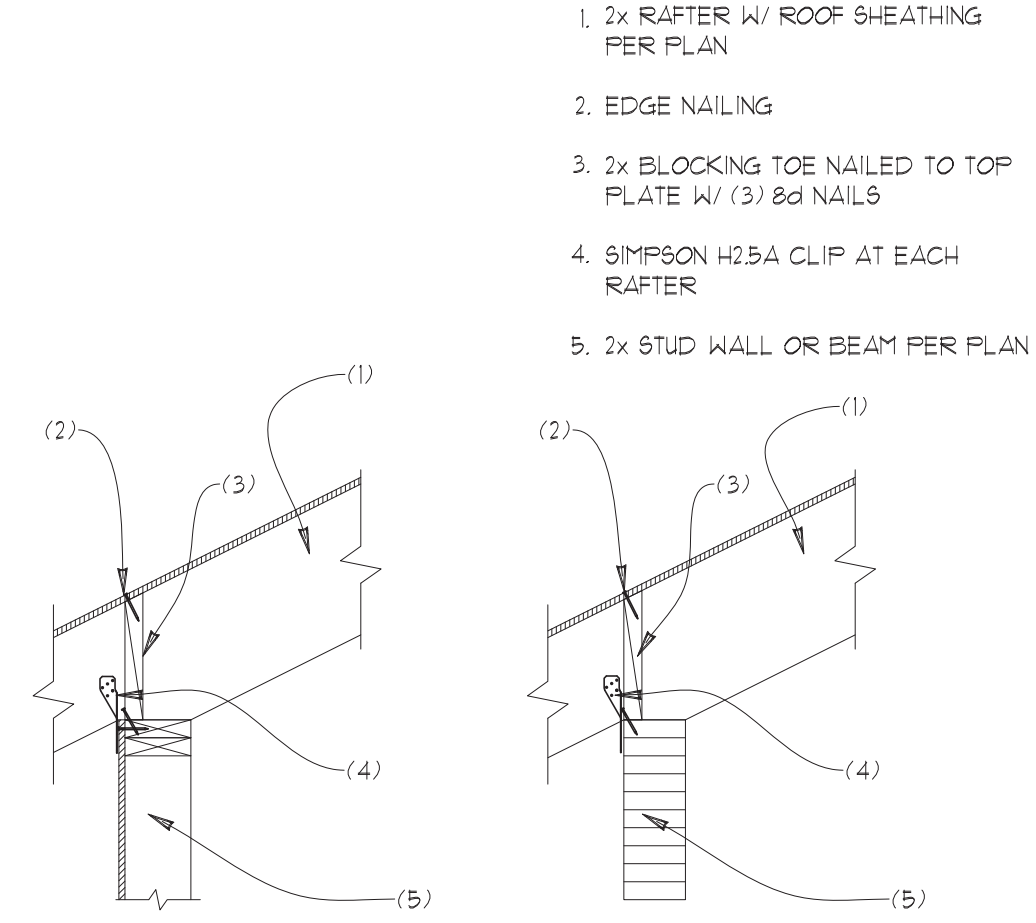
74 ROOF DIAPHRAGM TO WALL
SCALE: 3/4"=1'

70 RAISED HEEL ROOF TRUSS AT BEARING
SCALE: 3/4"=1'

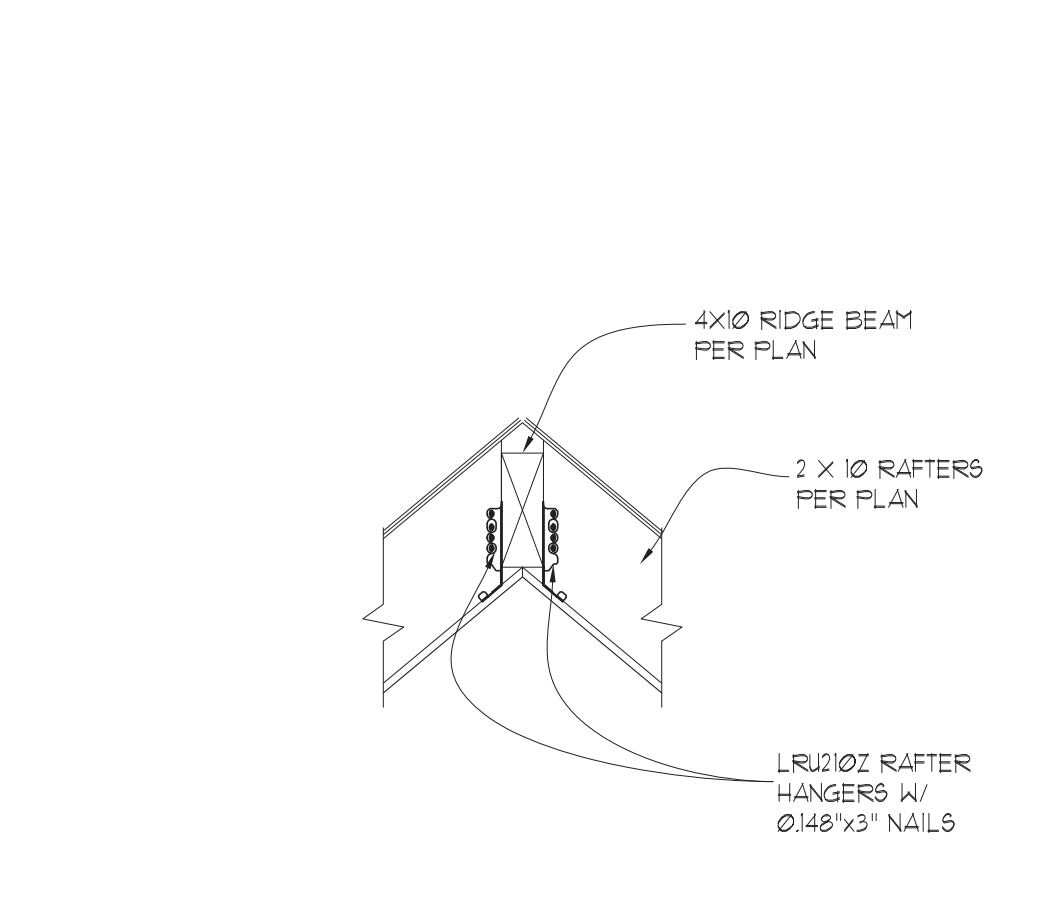
71 GABLE END TRUSS
SCALE: 3/4"=1'

72 GIRDER TRUSS AT OVERFRAMING
SCALE: 3/4"=1'

73 VALLEY FRAMING
SCALE: 3/4"=1'



- 2x RAFTER W/ ROOF SHEATHING PER PLAN
- EDGE NAILING
- 2x BLOCKING TOE NAILED TO TOP PLATE W/ (3) 8d NAILS
- SIMPSON H25A CLIP AT EACH RAFTER
- 2x STUD WALL OR BEAM PER PLAN



- 4"x10 RIDGE BEAM PER PLAN
- 2 X 10 RAFTERS PER PLAN
- LRU102 RAFTER HANGERS W/ Ø148"x3" NAILS

75 RAFTER AT WALL
SCALE: 3/4"=1'

76 RAFTER AT RIDGE BEAM
SCALE: 3/4"=1'

STRUCTURAL PLANS

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BUILDING DEPT. APPROVAL STAMPS:

REVISION:	INIT:	DATE:

S7	DATE: 4-3-2025
	INIT: MM
PROJECT #: 2601	